



forestry, fisheries & the environment

Department:
Forestry, Fisheries and the Environment
REPUBLIC OF SOUTH AFRICA

APPLICATION FORM FOR WASTE MANAGEMENT LICENCE

	(For official use only)
File Reference Number:	12/9/11
NEAS Reference Number:	
Date Received:	

Application for authorisation in terms of the National Environmental Management: Waste Act, 2008(Act No.59 of 2008), as amended and the Environmental Impact Assessment Regulations, 2017, as amended

NB: PLEASE TAKE NOTE: Should your activity(ies) include “Storage of general or hazardous waste in a lagoon; Disposal of Inert or general or Hazardous waste to land”, please ensure that you complied with all the requirements of the attached checklist (APPENDIX 1) when submitting the Final Reprt (BAR or EIR) for the processing of RoD by DWS.

COMMENCEMENT: Has the activity (ies) commenced: ~~Yes or~~ No

~~If yes, when (provide the Year, Month and Date):~~

PROJECT TITLE

**APPLICATION FOR A WASTE MANAGEMENT LICENSE TO DECOMMISSION
THE EVERITE ASBESTOS SITE, ERF 18354, BRACKENFELL**

Kindly note that:

1. This application form is current as of 01 April 2021. It is the responsibility of the applicant to ascertain whether subsequent versions of the form have been published or produced by the competent authority.
2. The application must be typed within the spaces provided in the form. The sizes of the spaces provided are not necessarily indicative of the amount of information to be provided. Spaces are provided in tabular format and will extend automatically when each space is filled with typing.
3. Where applicable **black out** the boxes that are not applicable in the form.
4. Incomplete applications may be returned to the applicant for revision.

5. The use of the phrase “not applicable” in the form must be done with circumspection. Should it be done in respect of material information required by the competent authority for assessing the application, it may result in the rejection of the application as provided for in the Regulations.
 6. This application must be handed in at the offices of the relevant competent authority as determined by the Act and regulations.
 7. Unless protected by law, all information filled in on this application will become public information on receipt by the competent authority. Any interested and affected party should be provided with the information contained in this application on request, during any stage of the application process.
 8. Should a specialist report or report on a specialised process be submitted at any stage for any part of this application, the terms of reference for such report must also be submitted.
 9. The payment of a fee for the processing of environmental impact assessment applications in terms of sections 24(5)(c), 24M and 44 the National Environmental Management Act, 1998 (Act No. 107 of 1998) (“NEMA”) will be applicable from July 2012.
-

Queries must be addressed to the contact hereunder:

Departmental Details

Postal address:

Department of Environment, Forestry and Fisheries
Attention: Director: Licensing
Private Bag X447
Pretoria
0001

Physical address:

Department of Environment, Forestry and Fisheries
Environment House (473 Steve Biko Rd, corner: Steve Biko and Soutpansberg Rds)
Arcadia X6
PRETORIA
0002

Application queries should be directed to the Sub-Directorate: Waste Licensing Systems
Management on:

Tel :012 3999791: Email: lmahlangu@environment.gov.za

FEES¹

Department of Environment, Forestry and Fisheries details for the payment of application fees

Banking details:

ABSA Bank
Branch code: 632005
Account number: 1044 2400 72
Current account
Reference number: Waste License (important to quote this when making payment)

Attach proof of payment to this Application form: [Refer to Appendix 2.](#)

Payment Enquiries:

Contact person: Lucas Mahlangu
Tel: 012 3999 791: Email: lmahlangu@environment.gov.za

Tax exemption status:

¹ Applicants must pay a fee for the processing of environmental impact assessment in terms of sections 24(5)(c), 24M and 44 the National Environmental Management Act, 1998 (Act No. 107 of 1998) ("NEMA"). A flat rate of **R2 000** is charged for basic assessment (BA), transfer of Ownership and Renewal of validity of WML and **R10 000** for scoping and an environmental impact assessment applications (Scoping EIA)

Status: Tax exempted

Exclusions:

An applicant is excluded from paying fees if:

- The activity is a community based project funded by a government grant; or
- The applicant is an organ of state.

Applicants are required to tick the appropriate box below and ensure that the application form is accompanied by proof of payment OR proof and motivation if an exclusion applies:

Proof attached ☒

~~Exclusion applies~~ ☐

Type of exclusion	Tick which exclusion is applicable. Proper motivation must be provided if any option is chosen.
The activity is a community based project funded by a government grant	Not Applicable
The applicant is an organ of state.	Not Applicable

SITE IDENTIFICATION AND LINKAGE

Please indicate all the Surveyor-general 21 digit site (erf/farm/portion) reference numbers for all sites (including portions of sites) that are part of the application.

C 0 6 7 0 0 0 4 0 0 0 1 8 3 5 4 0 0 0 0 0

(if there are more than 6, please attach a list with the rest of the numbers)

(These numbers will be used to link various different applications, authorisations, permits etc. that may be connected to a specific site)

SITE CO-ORDINATES

Please provide the geographic co-ordinates of all corners of the site; in degrees, decimal minutes, and seconds for all sites (Indicate the position of the activity using the latitude and longitude of the centre point of the site for each alternative site). Provide geographic coordinates for all corners of the facility (ies)

Corner 1: 33° 52' 22.4616" S, 18° 42' 5.2308" E
Corner 2: 33° 52' 27.912" S, 18° 41' 55.6512" E
Corner 3: 33° 52' 35.0976" S, 18° 41' 59.0388" E

Corner 4: 33° 52' 33.7872" S, 18° 42' 0.2664" E
Corner 5: 33° 52' 33.9816" S, 18° 42' 3.24" E
Corner 6: 33° 52' 36.354" S, 18° 42' 3.7044" E
Corner 7: 33° 52' 36.5448" S, 18° 42' 6.6384" E
Corner 8: 33° 52' 34.1724" S, 18° 42' 10.386" E
Corner 9: 33° 52' 28.3368" S, 18° 42' 10.5012" E
Centre of Site: 33° 52' 30.0036" S, 18° 42' 4.1688" E



Figure 1. Site Co-ordinate Map of Everite Asbestos Site (created using CapeFarmMapper, October 2021)

SITE AND LOCALITY PLAN DIRECTIONS

The site is located on ERF 18354 which is accessed via Virgo Close from Gemini Street, Brackenfell, City of Cape Town, Western Cape, South Africa.

Erf: 18354

Nearest Town: Brackenfell

Ward number: 8

Local Municipality: City of Cape Town

District Municipality: City of Cape Town

Province: Western Cape

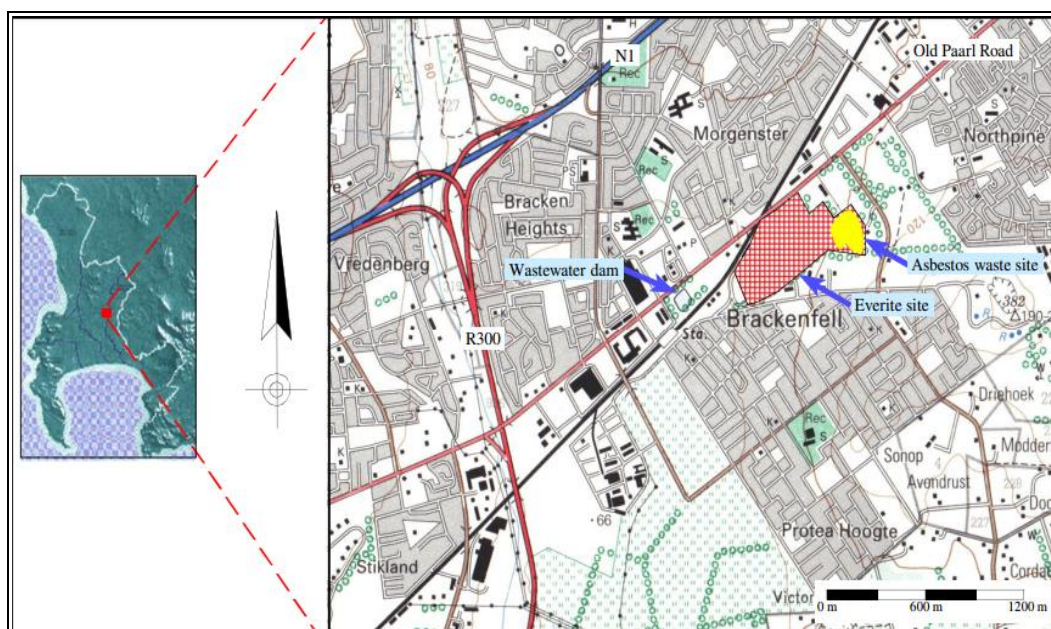


Figure 2. Locality Map of The Everite Site in Brackenfell (The Asbestos Waste Site Shaded In Yellow Is The Subject Of This Application)

CAPITAL VALUE AND JOB CREATION ESTIMATES (If applicable)

Capital value	Job estimates
Please refer to the below table which details the socio-economic aspects of the proposed project:	
What is the expected capital value of the activity on completion?	Capping: R 25 million Industrial development: R450 million
What is the expected yearly income that will be generated by or as a result of the activity?	R35 million, based on preliminary estimates of potential rental income only. The potential income to individual businesses establishing themselves in the development is excluded.
Will the activity contribute to service infrastructure?	Yes – road upgrades including sidewalk construction
Is the activity a public amenity?	No
How many new employment opportunities will be created in the development phase of the activity?	Professional services: 10 Construction Works: 120 (this is based on the resource usage on similar types and size of construction works).
What is the expected value of the employment opportunities during the development phase?	R80m
What percentage of this will accrue to previously disadvantaged individuals?	80-90%
How many permanent new employment opportunities will be created during the operational phase of the activity?	40 000m ² of new industrial space is being developed, depending the use of the units the expected employment should be in excess of 300 positions.

What is the expected current value of the employment opportunities during the first 10 years?	Total over 10 years of R342m (300 new employment opportunities, Average salary of R9 500 per month, annual salary of R114 000.)
What percentage of this will accrue to previously disadvantaged individuals?	80-90%

PROJECT TITLE

APPLICATION FOR A WASTE MANAGEMENT LICENSE TO DECOMMISSION THE EVERITE ASBESTOS SITE, ERF 18354, BRACKENFELL

1. BACKGROUND INFORMATION

Project applicant:	Duro Brick Company (Pty) Ltd		
Trading name (if any):	Duro Brick Company (Pty) Ltd		
Contact person:	Mr. Pieter Smith		
Physical address:	Unit 4 Muscadell House Brandwacht Office Park Trumali Street, Stellenbosch		
Postal address:	The Picton, 134 King Edward Road, Parow		
Postal code:	7500	Cell:	083 700 4294
Telephone:	083 700 4294	Fax:	N/A
E-mail:	pieter@hanocron.co.za		
Provincial Authority:	The Department of Environment Affairs & Development Planning (DEA&DP)		
Reference No. (if any)	Not Applicable		
Contact person:	Pieter Van Zyl		
Postal address:	Private Bag X9086, Cape Town		
Postal code:	8000	Cell:	
Telephone:	0214834091	Fax:	
E-mail:	Pieter.vanZyl@westerncape.gov.za		

EAP Company	Chand Environmental Consultants cc		
Contact person:	Ms. Claudette Muller		
Postal address:	PO Box 238, Plumstead		
Postal code:	7801	Cell:	
Telephone:	(021)762 3050	Fax:	(021) 762 3240
E-mail:	Claudette@chand.co.za		

Landowner:	Duro Brick Company (Pty) Ltd		
Contact person:	Mr. Pieter Smith		
Postal address:	The Picton, 134 King Edward Road, Parow		
Postal code:	7500	Cell:	083 700 4294

Telephone:	083 700 4294	Fax:	N/A
E-mail:	pieter@hanocron.co.za		

In instances where there is more than one landowner, please attach a list of landowners with their contact details to this application. N/A as there is only one landowner who is also the applicant.

Local authority in whose jurisdiction the proposed activity will fall:	City of Cape Town: Northern Planning District		
District authority in whose jurisdiction the proposed activity will fall:	City of Cape Town: Northern Planning District		
Nearest town or districts:	Brackenfell		
Contact person:	Morné Theron		
Postal address:	Milnerton Municipal Offices, 87 Pienaar Road, Milnerton		
Postal code:	7441	Cell:	084 222 1410
Telephone:	Morne.Theron@capetown.gov.za	Fax:	
E-mail:	Pat.Titmuss@capetown.gov.za		

In instances where there is more than one local authority involved, please attach a list of local authorities with their contact details to this application.

2. ACTIVITIES APPLIED FOR TO BE AUTHORISED

2.1 For an application for authorisation that involves more than one listed or specified activity that, together, make up one development proposal, all the listed activities pertaining to this application must be indicated.

Indicate the number and date of the relevant notice:	Activity No (s) (in terms of the relevant notice) :	Describe each listed activity as per project description ² :	Process indicated by regulations (Scoping or Basic Assessment)
NEM:WA, Act No.59 of 2008 GN No. 921 - Category A	Activity 14	The decommissioning of a facility for a waste management activity in Category A or B to this schedule. The land was previously used to dispose of hazardous waste. Triggering this Listed Activity requires a Basic Assessment process to	Basic Assessment

²Please note that this description should not be a verbatim repetition of the listed activity as contained in the relevant Government Notice, but should be a brief description of activities to be undertaken as per the project description

		apply for a Waste Management License. Refer to the Project Description below for a detailed description of the waste activity.	
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2.1 PROJECT DESCRIPTION & DESCRIPTION OF WASTE ACTIVITY

The Everite Factory in Brackenfell was established on site in 1945 and closed in October 2000. During its operation, the factory produced asbestos wastes in the form of sludges, broken sheeting and reject pipes which would be disposed of at a site created for this purpose alongside the factory. A wastewater dam on site was also used by the Everite factory for the disposal of its effluent. Since closure of the factory in 2000, the site was used to dispose of waste generated during the factory clean-up process. In 2001 the asbestos waste site was reshaped, capped, and had vegetation established on it and is currently not used.

Duro Brick Company (Pty) Ltd ("Duro Brick") intends to decommission the site (Erf 18354, Brackenfell – refer to Figure 1 & Figure 2) in the form of permanent capping, with further development of a light industrial park thereon. The intention is to make use of the existing contours/slope of the site and to keep any excavations to a minimum. A critical part of the capping/closure of the site to ensure that the asbestos is firmly in place is the proposed development as some of the roadways and foundations would form part of the capping layers and would be constructed on top of the capping.

The preferred alternative (i.e. Alternative 2) proposes the capping of the full extent of the site, except for the retention pond and associated buffer area, as well as redevelopment on the site (which would provide a further capping layer).

The proposal has three key elements:

- Total capping proposed of up to approximately 95,000 m²,
- Redevelopment, with some occurring on top of the capping layer, of up to approximately 50,096 m²; and
- Retention pond and associated buffer area of approximately 14,250.9 m².

Note that the proposed development footprint can be divided into an area for roads and parking of approximately 18,091 m² and building footprints of approximately 32,005 m².

The intention is to have as limited excavation on the site as possible, in order to limit disturbance to the asbestos. There are different capping strategies proposed for different areas of the site as they relate to the proposed industrial development. These areas include:

- Green/ Landscaped Areas (i.e. the areas surrounding the proposed development structures, to be landscaped);
- Roads;
- Building Platforms;
- Services; and
- The Stormwater Pond.

In sections where there would be no infrastructure (i.e. roads and buildings), like the green/landscaped areas, the capping layer would be more robust, while areas which would house development would have a thinner capping layer, with the layer works for the roads and foundations and platforms for the buildings providing an additional capping layer on top of the engineered capping layer or replacing certain of the capping layers. Furthermore, in efforts to reduce the disturbance of asbestos on site as much as possible, the proposed capping and development would require minimal excavation, with compaction and importing of fill to realise the levels required.

The approach for each of these is described below.

Green Areas

Existing vegetation would be cleared from these areas and the proposed capping layerworks would be constructed directly onto the compacted in-situ material (Walters, 2020). The capping layer is depicted in Figure 3 and would comprise the following:

- A cement stabilized layer to a thickness of 300 mm;
- A graded crushed stone layer to a thickness of 150 mm and cover this layer with another woven geotextile; and
- Loosely place a 200 mm layer of topsoil that will promote vegetation in the green areas

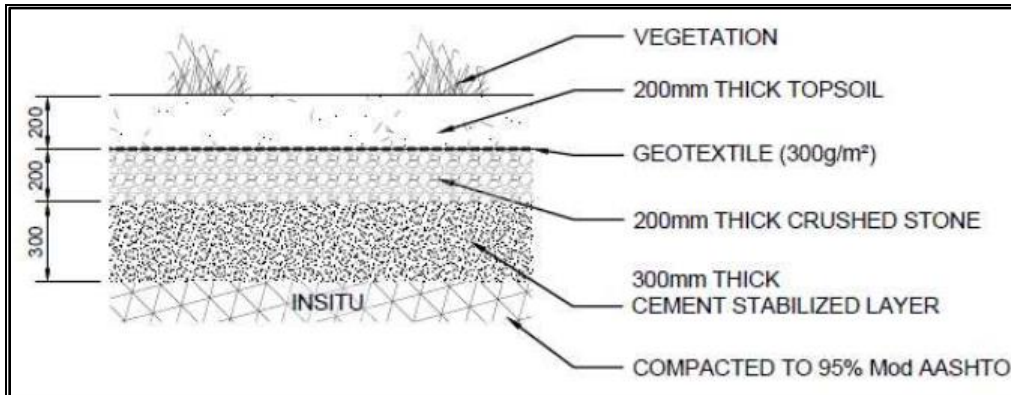


Figure 3. Proposed Capping layerworks for the Green Areas (source: Walters, 2020)

Due to the presence and thickness of this existing capping material as described above, J&W finds that an additional capping layer (barrier) of 500 mm is sufficient. Furthermore, one of the recommendations from the geotechnical assessment stated, "Due to the likely compressible nature of the materials present on site, it is recommended that the platform levels remain more or less the same i.e., fills greater than 500 mm must not be constructed."

There would be instances where services would need to be installed across green areas. Refer to "Services" below for a description thereof. Furthermore, given the mole activity, which is prevalent on site, a rodent barrier would be installed along the entire perimeter of the site (Walters, 2020). This would entail the excavation of 1m deep trench that would be lined with a HDPE geomembrane and backfilled with a cement stabilised material (Walters, 2020). The geomembrane would continue across the top of the trench and be placed 100 mm up against the property boundary (Walters, 2020). The typical cross section of the proposed rodent barrier is indicated in Figure 4.

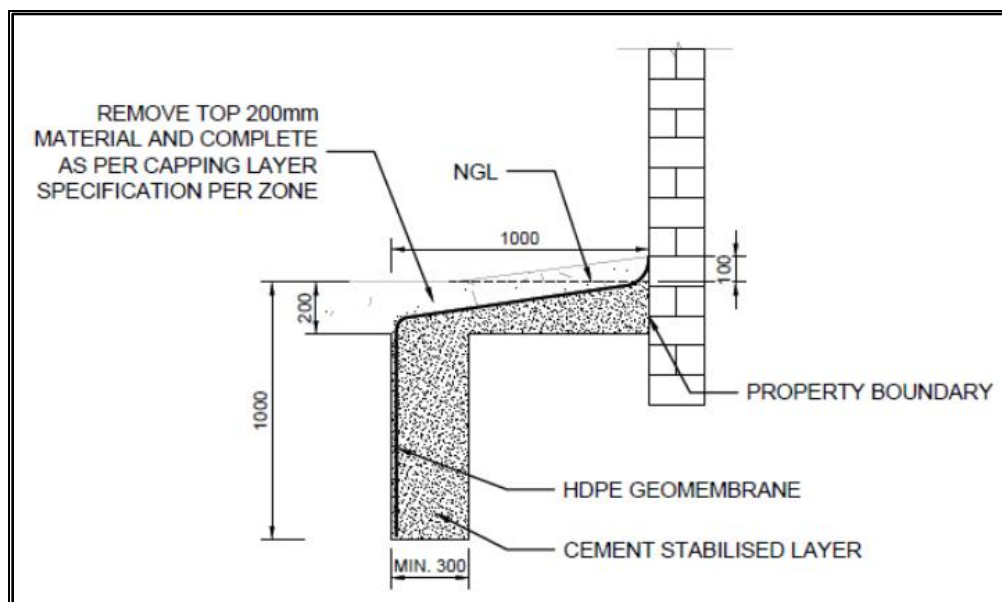


Figure 4. Typical cross-section of proposed rodent barrier (source: Walters, 2020)

Roads

Walters (2020) explains that the roads can be classified into two categories, based on the proposed layerworks, namely main access roads (asphalt finish) and internal parking areas (brick paved finish). Typical road sections are shown in Figure 5 and Figure 6.

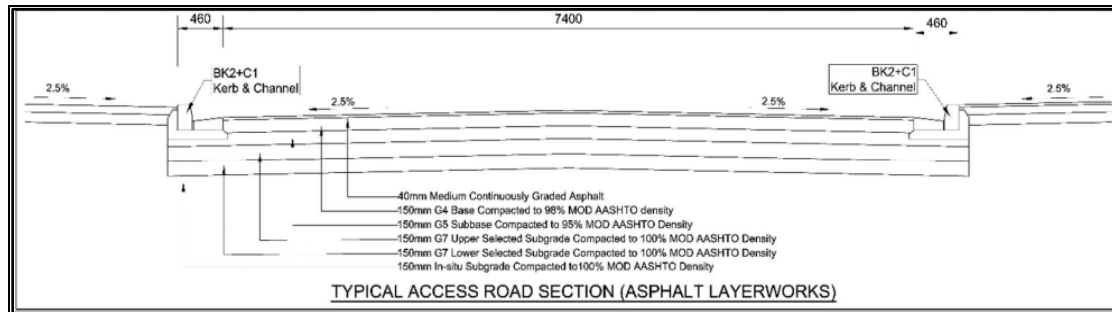


Figure 5. Proposed Road Layerworks: Asphalt- 640 mm total thickness (source: Walters, 2020)

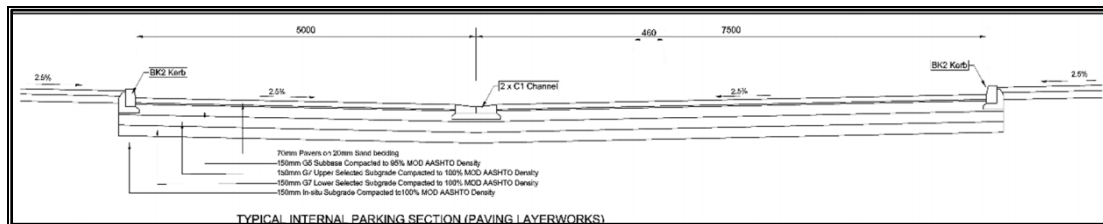


Figure 6. Proposed Road Layerworks: Brick Paving- 540 mm total thickness (source: Walters, 2020)

The proposed road layerworks with the asphalt finish include the following layers:

- 40 mm Premix
- 150 mm G4
- 150 mm G5
- 150 mm Upper Selected
- 150 mm Lower Selected

Under the asphalt roads, the proposed capping as described above would be replaced by the abovementioned road layerworks (Walters, 2020). Where the total fill required to achieve final level is less than the proposed road layerworks thickness, excavation would be required into the in-situ material (Walters, 2020). This is illustrated in Figure 7, where the final level is approximately 70 mm below the existing level (Walters, 2020).

This scenario would only be limited to a 135 m² area (Walters 2020) as the intention is to limit excavation into the asbestos as much as possible.

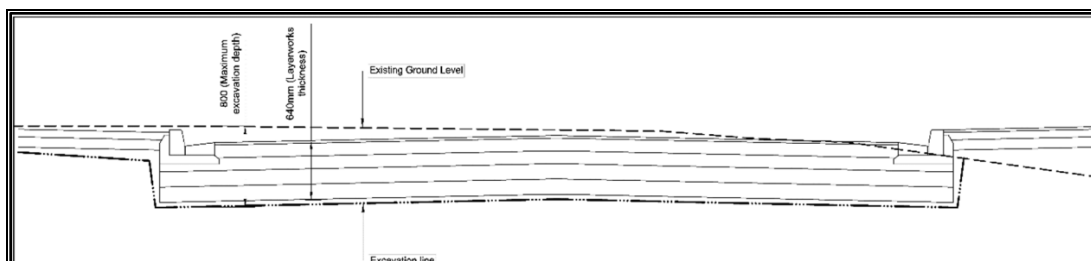


Figure 7. Excavation for road layerworks at depth (source: Walters, 2020)

The proposed road layerworks with the brick paving finish include the following layers:

- 70 mm Paver on 20 mm sand bedding
- 150 mm G5
- 150 mm Upper Selected
- 150 mm Lower Selected

Where the brick paving final earthworks, levels are close to the existing ground and excavation is required, the 200 mm thick crushed stone layer of the abovementioned proposed capping layerworks would be placed underneath the bricking paving layerworks are constructed (Walters, 2020).

Building Platforms

Walters (2020) indicates that the proposed building platform areas can be categorised into the following three capping scenarios:

- A. Final at, or just below the existing level (maximum excavation into the asbestos would be required here- refer to Figure 8);
- B. Final level between 0 mm and 700 mm above existing level (intermediate excavation into the asbestos would be required here- refer to Figure 8); and
- C. Final level more than 700 mm above existing level (no excavation into the asbestos would be required here).

Each scenario would entail varying degrees of excavation into the existing ground, from 700 mm excavation to no excavation into the existing ground (Walters, 2020). Excavation of 700 mm into the existing ground would require capping with no additional fill (scenario A above, refer to Figure 9) while the scenario with no excavation would not require capping layerworks and only bulk earthworks (scenario C above) (Walters, 2020). These bulk earthworks would comprise of competent material constructed in 200 mm thick layer and compacted to 95% MOD AASHTO (refer to Figure 8) (Walters, 2020).

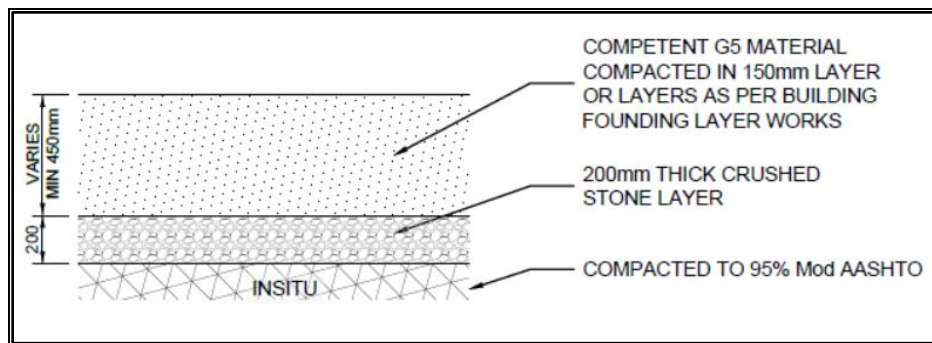


Figure 8. Excavation for road layerworks at depth (source: Walters, 2020)

The area where maximum excavation is required for building platforms would be limited to 25 m². Hence, Figure 8 is applicable for scenarios A and B described above and depicted in Figure 9 and Figure 10 respectively.

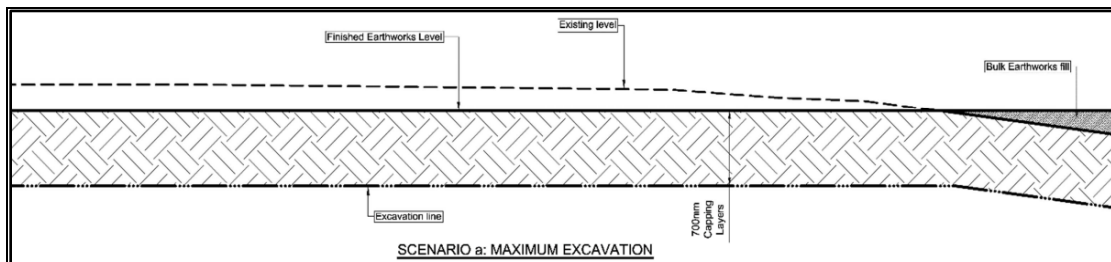


Figure 9. Maximum excavation scenario (source: Walters, 2020)

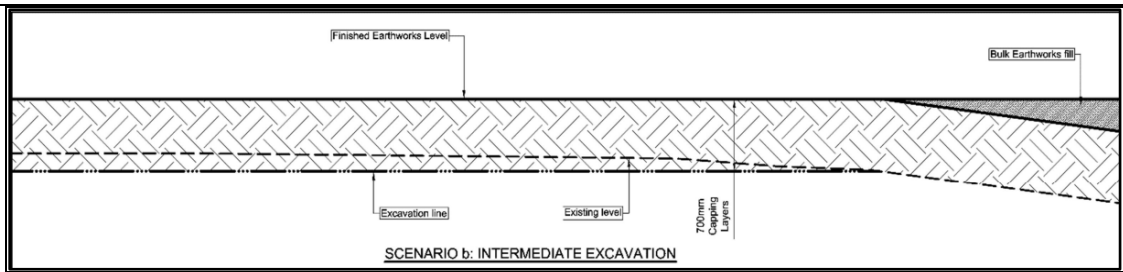


Figure 10. Intermediate excavation scenario (source: Walters, 2020)

Services

The proposed services would largely be located within the proposed earthworks and/or capping layers as described above (Walters, 2020). They would generally be to a maximum depth of 1 m (Walters, 2020).

The services would be located within roads or parking areas, or traverse across areas where no bulk earthworks would need to occur (Walters, 2020). It is in areas such as those where no bulk earthworks would be necessary (i.e., the green/landscaped areas) that the proposed services would be deeper than the proposed capping layers and so excavation into the existing ground and asbestos would be required (Walters, 2020).

However, there are instances where this would not be possible and so Walters (2020) provides three scenarios relevant to the proposed services, namely:

- A. Deeper than the proposed capping layer, in areas of no bulk earthworks/roadworks (refer to Figure 11);
- B. Within the existing ground under roads/parking (refer to Figure 12); or
- C. Within the bulk earthworks fill, under roads/parking (refer to Figure 13).

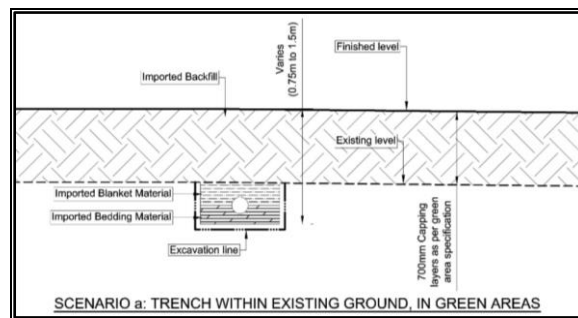


Figure 11 Scenario A: Services- Trench within existing ground (Green Areas) (source: Walters, 2020)

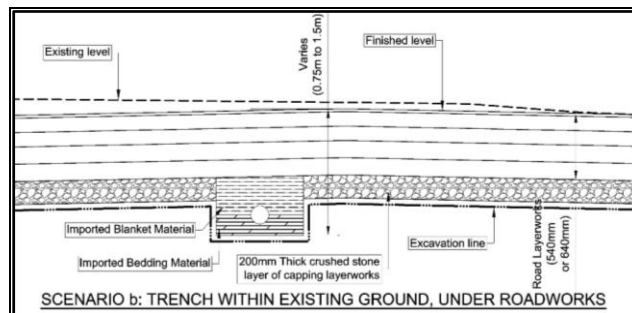


Figure 12 Scenario B: Services- Trench within existing ground (Under road works) (source: Walters, 2020)

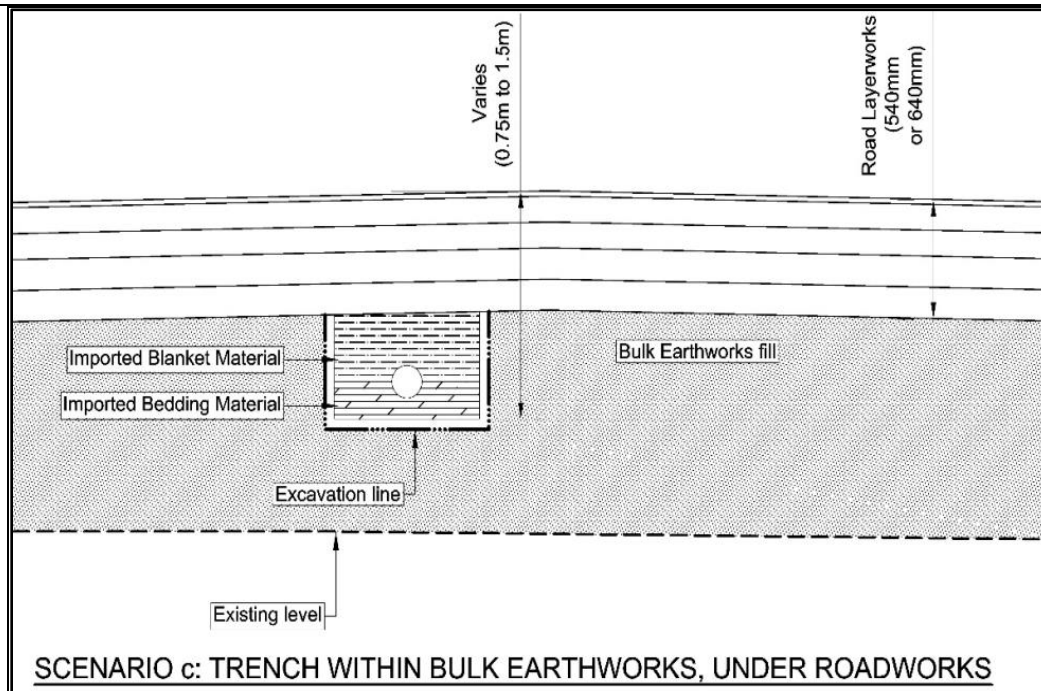


Figure 13 SCENARIO C: SERVICES- TRENCH WITHIN Bulk Earthworks (under roadworks) (SOURCE: WALTERS, 2020)

Refer to a detailed Capping Strategy attached as Appendix 3.

The proposed end-use of the site would be a secure industrial estate comprising a combination of larger portions ranging from around 6095 m² to 10800 m² and smaller portions averaging 1500 m² with an internal road (refer to Figure 13) network, some green areas and a stormwater detention (refer to Figure 14). The proposed industrial park would be fenced around the perimeter,

and have a single entrance and exit gate, which would be controlled by security personnel. The existing access road from Virgo Close, off Gemini Road in Brackenfell Industria. would be used.

Refer to Appendix 4 for the Site Development Plan.



Figure 14. Proposed Development Plan (SOURCE: CHAMELEON ARCHITECTS, 2020)

Please note that any authorisation that may result from this application will only cover activities specifically applied for.

2.2 Please indicate what process will be followed:

Basic assessment: **Yes**/~~No~~

S&EIR: ~~Yes~~/**No**

2.3 Attach permission to upgrade/downgrade if requested and obtained **Not Applicable**

2.4 Indicate the proposed project schedule / timeline **Refer to Appendix 5.**

3. OTHER AUTHORISATIONS REQUIRED

3.1 DO YOU NEED ANY AUTHORISATIONS IN TERMS OF ANY OF THE FOLLOWING LAWS?

3.1.1 National Environmental Management Act

Yes/~~No~~

As per the National Environmental Management Act (NEMA) (No. 107 of 1998) and the EIA Regulations (2014, as amended), the following listed activities will be applied for Environmental Authorisation:

- **Listing Notice 1, Activity 31** - The decommissioning and permanent capping the site of a facility for a waste management activity. The land was previously used to dispose of hazardous waste. Triggering this Listed Activity requires a Basic Assessment process to apply for a Waste Management License.
- **Listing Notice 3, Activity 12** - Clearance of approximately 1,800 m² of Critically Endangered Cape Flats Sand Fynbos is triggered. Triggering this Listed Activity requires a Basic Assessment process to apply for Environmental Authorisation

3.1.2 National Environmental Management: Air Quality Act	Yes /No
3.1.3 National Environmental Management: Protected Areas Act	Yes /No
3.1.4 National Environmental Management: Biodiversity Act	Yes /No
3.1.5 National Environmental Management: Integrated Coastal Management Act ³	Yes /No
3.1.6 National Water Act	Yes /No
3.1.7 National Heritage Resources Act	Yes /No
3.1.8 Mineral Petroleum Development Resources Act	Yes /No
3.1.9 Other (please specify)	Yes /No

3.2 Have such applications been lodged already? ~~Yes~~/No
 If Yes, please attach the application and provide a status update.

An application for Environmental Authorisation in terms of the National Environmental Management Act has been submitted to the Competent Authority in parallel with this submission. An application reference number is awaited where after the Draft Basic Assessment Report will be distributed for public review.

The application for Environmental Authorisation in terms of the NEMA and proof of submission has been appended as Appendix 6.

4. SECTORS

Please indicate, by marking the appropriate box below, the sector and sub-sector applicable to the main development which forms the subject of this application:

Sector 1: Energy infrastructure	
Subsector 1.1: Green economy + 'green' and energy saving industries	Subsector 1.5: Nuclear
Subsector 1.2: Infrastructure—electricity (generation, transmission & distribution)	Subsector 1.6: Basic services (local government)—electricity and electrification
Subsector 1.3: Oil and gas	Subsector 1.7: Basic services (local government)—area lighting
Subsector 1.4: Biofuels	

³Where an environmental authorization in terms of chapter 5 of the National Environmental Management Act is required for coastal activities, the competent authority must take into account all the relevant factors including those listed in section 63(1) of the National Environmental Management: Integrated Coastal Management Act.

Sector 2: Transport infrastructure	
Subsector 2.1: Infrastructure transport (ports, rail and road)	
Subsector 2.2: Basic services (local government) access roads	
Subsector 2.3: Basic services (local government)—public transport	
Sector 3: Bulk services infrastructure	
Subsector 3.1: Infrastructure—water (bulk and reticulation)	
Subsector 3.2: Basic services (local government)—sanitation	
Subsector 3.3: Basic services (local government)—waste management	
Subsector 3.4: Basic services (local government) water	
Sector 4: Water impoundments	
Subsector 4.1.: Basic services (Local Government) water	
Sector 5: Agriculture and forestry (including agri-industry, etc)	
Subsector 5.1: Agricultural value chain + agro-processing (linked to food security and food pricing imperatives)	
Subsector 5.2: Forestry, paper, pulp and furniture	
Sector 6: Communication infrastructure	
Subsector 6.1: 1 Infrastructure—information and communication technology	
Sector 7: Recreation and hospitality industry related infrastructure	
Subsector 7.1: Tourism+ strengthening linkages between cultural industries & tourist	
Subsector 7.2: Basic services (local government)—public open spaces and recreational facilities	

Sector 8 Greenfield transformation to urban or industrial form (including mining)	
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Sector 9: Biodiversity or sensitive area related activities	
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Sector 10: Other services	
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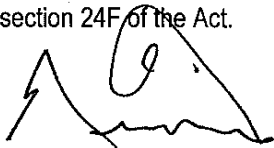
Subsector 10.1: Mining value chain	Subsector 10.8: Business process servicing
Subsector 10.2: Potential of metal fabrication capital & transport equipment – arising from large public investments	Subsector 10.9: Advanced materials
Subsector 10.3: Boat building	Subsector 10.10: Aerospace
Subsector 10.4: Manufacturing – automotive products and components, and medium and heavy commercial vehicles	Subsector 10.11: Basic services (Local Government) Education
Subsector 10.5: Manufacturing – plastics, pharmaceuticals & chemicals	Subsector 10.12: Basic services (Local Government) health
Subsector 10.6: Manufacturing – clothing textiles, footwear & leather	Subsector 10.13: Basic services (Local Government) Housing
Subsector 10.7: Forestry, paper, pulp & furniture	Subsector 10.14: Basic services (Local Government) security of tenure
	Subsector 10.15: Other The activity entails the capping of a hazardous waste site (decommissioning activity) to enable the development of a light industrial development.

5. DECLARATIONS

5.1 The Applicant

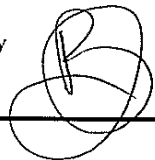
I, Paula Smyth O.B. & DUBOCHICK COMPANY (PM) LTD, declare that I -

- am, or represent⁴, the applicant in this application;
- have appointed / will appoint (delete that which is not applicable) an environmental assessment practitioner to act as the independent environmental assessment practitioner for this application / will obtain exemption from the requirement to obtain an environmental assessment practitioner⁵;
- will provide the environmental assessment practitioner and the competent authority with access to all information at my disposal that is relevant to the application;
- will be responsible for the costs incurred in complying with the Environmental Impact Assessment Regulations, 2010, including but not limited to –
 - costs incurred in connection with the appointment of the environmental assessment practitioner or any person contracted by the environmental assessment practitioner;
 - costs incurred in respect of the undertaking of any process required in terms of the Regulations;
 - costs in respect of any fee prescribed by the Minister or MEC in respect of the Regulations;
 - costs in respect of specialist reviews, if the competent authority decides to recover costs; and
 - the provision of security to ensure compliance with conditions attached to an environmental authorisation, should it be required by the competent authority;
- will ensure that the environmental assessment practitioner is competent to comply with the requirements of these Regulations and will take reasonable steps to verify whether the EAP complies with the Regulations;
- will inform all registered interested and affected parties of any suspension of the application as well as of any decisions taken by the competent authority in this regard;
- am responsible for complying with the conditions of any environmental authorisation issued by the competent authority;
- hereby indemnify the Government of the Republic, the competent authority and all its officers, agents and employees, from any liability arising out of the content of any report, any procedure or any action which the applicant or environmental assessment practitioner is responsible for in terms of these Regulations;
- will not hold the competent authority responsible for any costs that may be incurred by the applicant in proceeding with an activity prior to obtaining an environmental authorisation or prior to an appeal being decided in terms of these Regulations;
- will perform all other obligations as expected from an applicant in terms of the Regulations;
- all the particulars furnished by me in this form are true and correct; and
- I realise that a false declaration is an offence in terms of regulation 71 and is punishable in terms of section 24F of the Act.



⁴If this is signed on behalf of the applicant, proof of such authority from the applicant must be attached.

⁵If exemption is obtained from appointing an EAP, the responsibilities of an EAP will automatically apply to the person conducting the environmental impact assessment in terms of the Regulations.



Signature of the applicant⁶/ Signature on behalf of the applicant:

DURO BEYCK COMPANY (PTY) LTD

Name of company (if applicable):

2021.11.18.

Date:

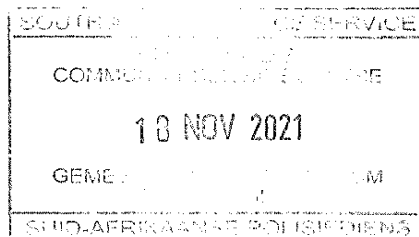
Signature of the Commissioner of Oaths:

2021.11.18

Date:

Designation:

Official Stamp



⁶If the applicant is a juristic person, a signature on behalf of the applicant is required as well as proof of such authority. An EAP may not sign on behalf of an applicant.

6. The independent Environmental Assessment Practitioner

6. The independent Environmental Assessment Practitioner

I, Claudette Muller, declare under oath that I –

- act as the independent environmental assessment practitioner in this application ;
- do not have and will not have any financial interest in the undertaking of the activity, other than remuneration for work performed in terms of the Environmental Impact Assessment Regulations, 2010;
- have and will not have no vested interest in the proposed activity proceeding;
- have no, and will not engage in, conflicting interests in the undertaking of the activity;
- undertake to disclose, to the competent authority, any material information that have or may have the potential to influence the decision of the competent authority or the objectivity of any report, plan or document required in terms of the Environmental Impact Assessment Regulations, 2006;
- will ensure that information containing all relevant facts in respect of the application is distributed or made available to interested and affected parties and the public and that participation by interested and affected parties is facilitated in such a manner that all interested and affected parties will be provided with a reasonable opportunity to participate and to provide comments on documents that are produced to support the application;
- will ensure that the comments of all interested and affected parties are considered and recorded in reports that are submitted to the competent authority in respect of the application, provided that comments that are made by interested and affected parties in respect of a final report that will be submitted to the competent authority may be attached to the report without further amendment to the report;
- will keep a register of all interested and affected parties that participated in a public participation process; and
- will provide the competent authority with access to all information at my disposal regarding the application, whether such information is favourable to the applicant or not.



Signature of the Environmental Assessment Practitioner:

Chand Environmental Consultants cc

Name of company:

07/12/2021

Date:



F. Miron

Signature of the Commissioner of Oaths:

2021.12.07

Date:

Branch Manager

Designation:

Official stamp (Above)



The Land owner (If the landowner is different from the Applicant)

NOT APPLICABLE

LIST OF APPENDICES

		SUBMITTED	
Appendix 1	Requirement Checklist (Not applicable)	YES	NO
Appendix 2	Proof of Payment	YES	NO
Appendix 3	Capping Strategy & Civil Services Plan	YES	NO
Appendix 4	Site Development Plan	YES	NO
Appendix 5	Project Schedule	YES	NO
Appendix 6	Application for Environmental Authorisation in terms of the NEMA	YES	NO

APPENDIX 1

In order for the RoD to be processed the following information must have been submitted:

NOT APPLICABLE AS NO
HAZARDOUS WASTE
DISCHARGE TO LAGOON

NOT APPLICABLE AS NO
HAZARDOUS WASTE
DISCHARGE TO LAGOON

LIST OF APPENDICES

Appendix 1: Requirement Checklist – **Not Applicable**

Appendix 2: Proof of Payment

Appendix 3: Capping Strategy

Appendix 4: Site Development Plan

Appendix 5: Project Schedule

Appendix 6: Application for Environmental Authorisation in terms of the NEMA

APPENDIX 1

Requirement Checklist – **Not Applicable**

APPENDIX 2

Proof of Payment



NOTIFICATION OF PAYMENT

To Whom It May Concern:

First National Bank hereby confirms that the following payment instruction has been received:

Date Actioned	: 2021/12/03
Time Actioned	: 15:14:26
Trace ID	: 7N9DJVZH

Payer Details

Payment From	: Duro Brick
Cur/Amount	: ZAR25,110.00

Payee Details

Recipient/Account No	: . . 923426
Name	: Chand
Bank	: Standard Bank
Branch Code	: 051001
Reference	: 170/038

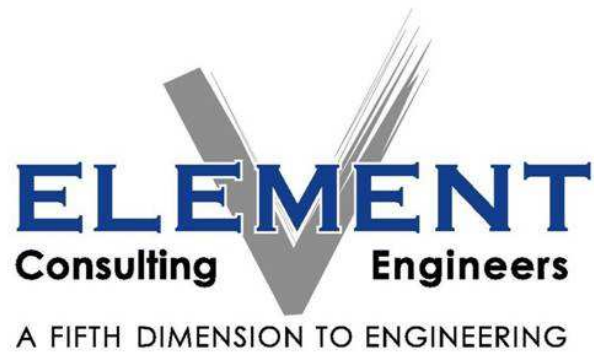
END OF NOTIFICATION

To authenticate this Payment Notification, please visit the First National Bank website at fnb.co.za, select the "Verify Payments" link and follow the on-screen instructions.

Our customer (the payer) has requested First National Bank Limited to send this notification of payment to you. Should you have any queries regarding the contents of this notice, please contact the payer. First National Bank Limited does not guarantee or warrant the accuracy and integrity of the information and data transmitted electronically and we accept no liability whatsoever for any loss, expense, claim or damage, whether direct, indirect or consequential, arising from the transmission of the information and data.

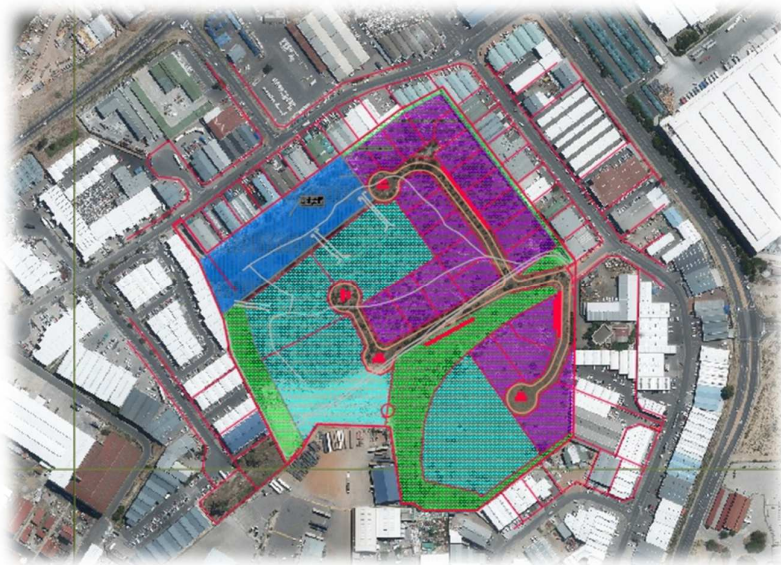
APPENDIX 3

Capping Strategy



EVERITE INDUSTRIAL DEVELOPMENT, ERF 18354, BRACKENFELL:

CIVIL SERVICES METHOD STATEMENT: REV 00



OUR REF NO. 200284

DECEMBER 2020

Pieter Smith
Mobile: 083 700 4294
Email: pieter@hanocron.co.za



Head Office Office
Durbanville, Western Cape


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54 Oxford Street, Oxford Gate, Block C, Durbanville, 7550

PO Box 1142, Durbanville, 7551

DOCUMENT CONTROL SHEET

Compiled By:	 Elroy Walters PrEng	9 December 2020 Date
Reviewed By: Brent Vivier PrEng	9 December 2020 Date

Revision	Description	Date Issued	Revision By:
00	First Issue	9 December 2020	EW

DISTRIBUTION LIST

Name	Company	Email	Tel
Pieter Smith	Hanocron Group (Pty) Ltd	pieter@hanocron.co.za	083 700 4294
Silke Louw	Jones and Wagener Engineering and Environmental Consultants	silke@jaws.co.za	011 519 0200
Marielle Penwarden	CHAND Environmental Consultants	marielle@chand.co.za	021 762 3050

**EVERITE INDUSTRIAL DEVELOPMENT, ERF 18354, BRACKENFELL:
CIVIL SERVICES METHOD STATEMENT: REV 00**

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1.2.2	In Roads	2
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1 EARTHWORKS

1.1 In-Situ Conditions

The in-situ terrain must be compacted before any fill and/or capping layers are placed. The terrain must be compacted to 95% MOD AASHTO.

1.2 Capping

The capping layerworks depend on the total fill required to achieve the final earthworks levels, as well as the location of the capping (i.e. roads, building platforms, etc.). The capping layers have been specified by *Jones and Wagener Engineering and Environmental Consultants*.

1.2.1 In Green areas

In the green areas surrounding the industrial development, the existing vegetation will be cleared and the capping layerworks will be constructed directly on to the compacted insitu material. The typical layerworks for these areas is shown in Figures 1.2.1a.

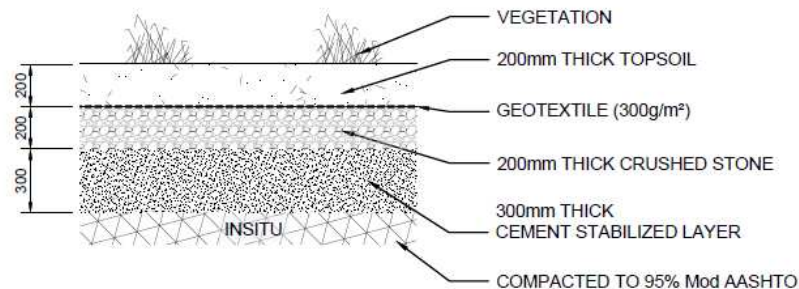


Figure 1.2.1a: Capping layerworks in green areas

Additionally, due to the mole activity that has been witnessed on site, a rodent barrier will be installed along the entire perimeter of the site. This will entail the excavation of one meter deep trench that will be lined with a HDPE geomembrane and backfilled with a cement stabilised material. The geomembrane will continue across the top of the trench and be place 100mm up against the property boundary. The typical cross section of the rodent barrier is shown in Figures 1.2.1b.

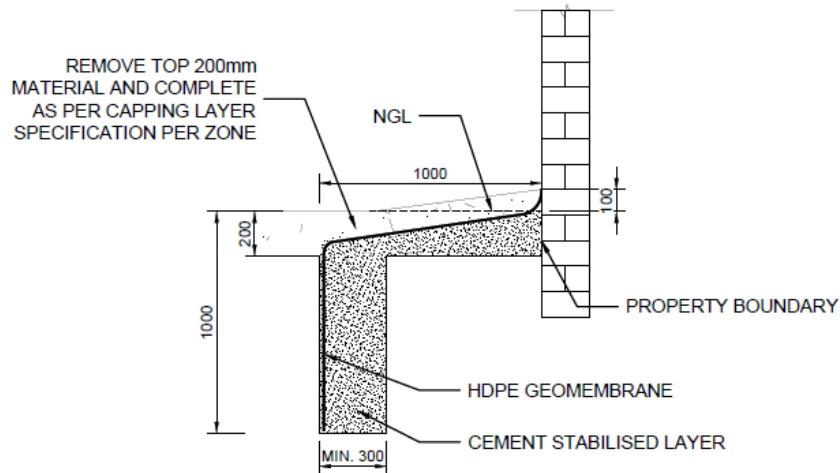


Figure 1.2.1b: Typical detail of perimeter rodent barrier

1.2.2 In Roads

The roads can be classified into two categories, based on the proposed layerworks, namely main access roads (asphalt finish) and internal parking areas (brick paved finish). Typical road sections are shown in Figures 1.2.1c and 1.2.1d.

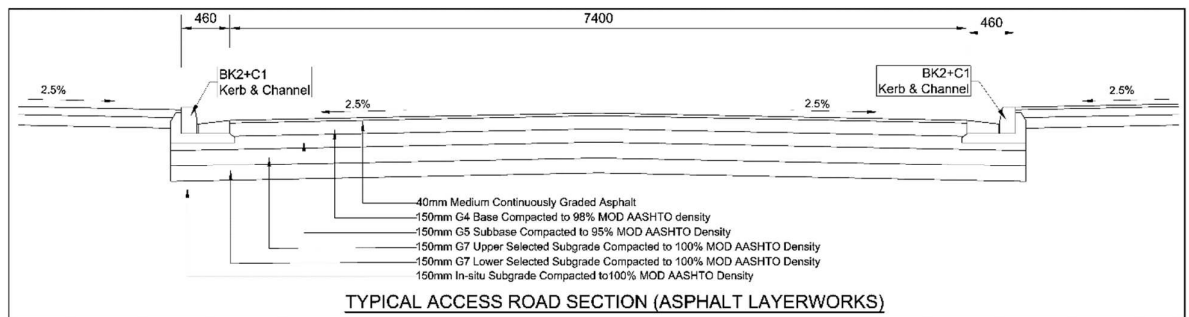


Figure 1.2.1c: Road Layerworks (Asphalt)

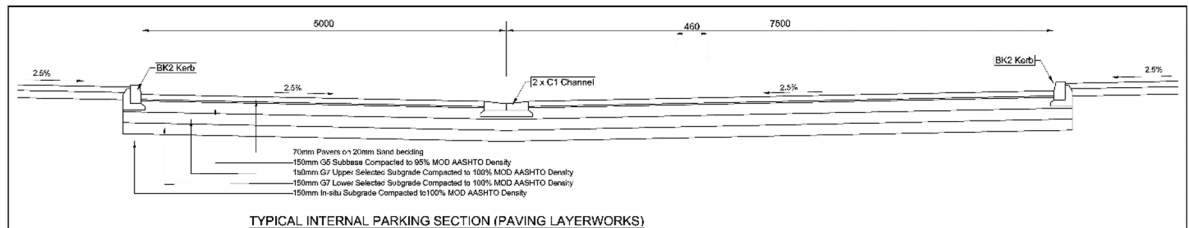


Figure 1.2.1d: Road Layerworks (Brick Paving)

The road layerworks are as follows:

- Asphalt Finish (640mm total thickness):
 - 40mm Premix
 - 150mm G4
 - 150mm G5
 - 150mm Upper Selected
 - 150mm Lower Selected
- Brick Paving (540mm total thickness):
 - 70mm Paver on 20mm Sand bedding
 - 150mm G5
 - 150mm Upper Selected
 - 150mm Lower Selected

Under the asphalt roads, the capping will be replaced by the road layerworks. Where the total fill required to achieve final level is less than the proposed road layerworks thickness, excavation will be required into the in-situ material. This is illustrated in Figure 1.2.1e (also refer to **Annexure A**), where the final level is approximately 70mm below the existing level. This scenario is limited to a 135m² area.

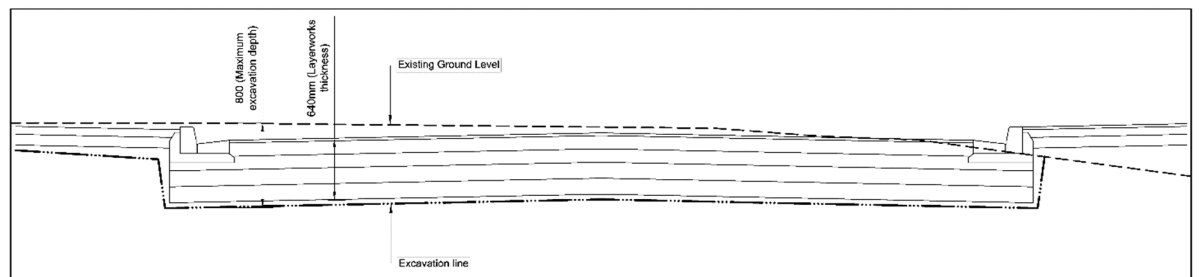


Figure 1.2.1e: Excavation for road layerworks at depth

Where the brick paving final earthworks levels are close to the existing ground and excavation is required, the 200mm thick crushed stone layer of the capping layerworks will be placed underneath the bricking paving layerworks are constructed.

1.2.3 On Building Platforms

The building platform areas can be categorized into three scenarios, namely:

- a) Final level at, or just below the existing level (maximum excavation).
- b) Final level between 0mm and 700mm above existing level (intermediate excavation).
- c) Final level more than 700mm above existing level (no excavation).

Each scenario will entail varying degrees of excavation into the existing ground, from 700mm excavation, to no excavation into the existing ground (refer to **Annexure B**). Excavation of 700mm into the existing ground will require capping with no additional fill (scenario a above) while the scenario with no excavation will not require capping layerworks and only bulk earthworks (scenario c above). These bulk earthworks will comprise of competent material constructed in 200mm thick layer and compacted to 95% MOD AASHTO. The area where maximum excavation is required for building platforms is limited to 25m². Hence, Figure 1.2.1f is applicable for scenarios a and b described above.

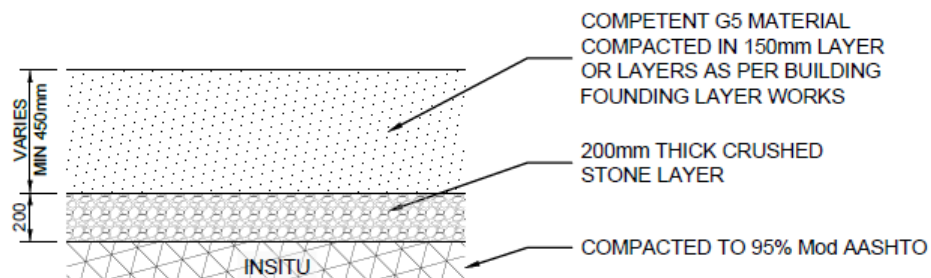


Figure 1.2.1f: Excavation for road layerworks at depth

2 UNDERGROUND SERVICES

Services have been designed to generally be at a maximum depth of 1m (refer to **Annexures C1** and **C2**, and therefore to be within the earthworks and/or capping layers. There are instances where this is not possible.

Services are located either in roads, parking areas or traverses across areas where no bulk earthworks occur. The areas where services cross outside of the roads or proposed bulk earthworks, the services will be deeper than the proposed capping layers and excavation into the existing ground will be required.

The three scenarios for services can be summarized as follows:

- a) Deeper than proposed capping layer, in areas of no bulk earthworks/roadworks.
- b) Within the existing ground under roads/parking.
- c) Within the bulk earthworks fill, under roads/parking.

The above scenarios are illustrated in **Annexure C3**.

3 POND

The existing pond needs to be extended in length and widened (refer to **Annexure C2**). The pond will include a drainage layer of 500mm thick, consisting of clean drainage sand. Armorflex grass blocks will line the bottom and side slopes of the pond.

The drainage layer will contain a series of 110mmØ subsoil drains. Refer to **Annexure D** and Figure 3 below.

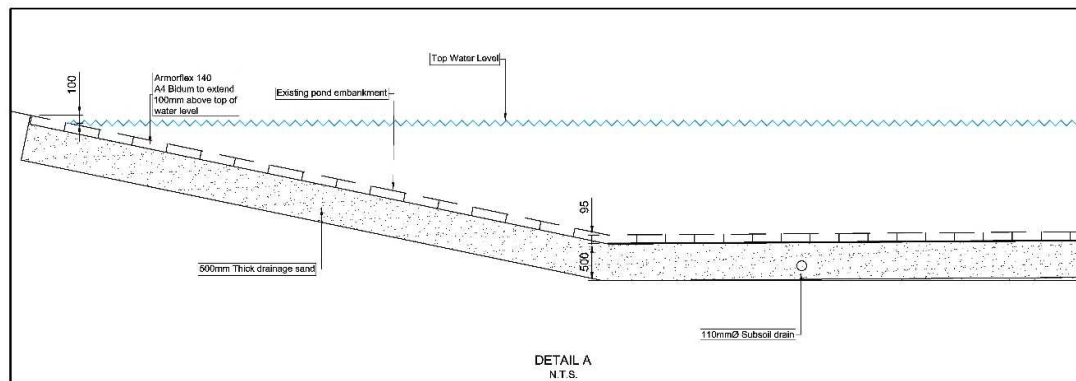
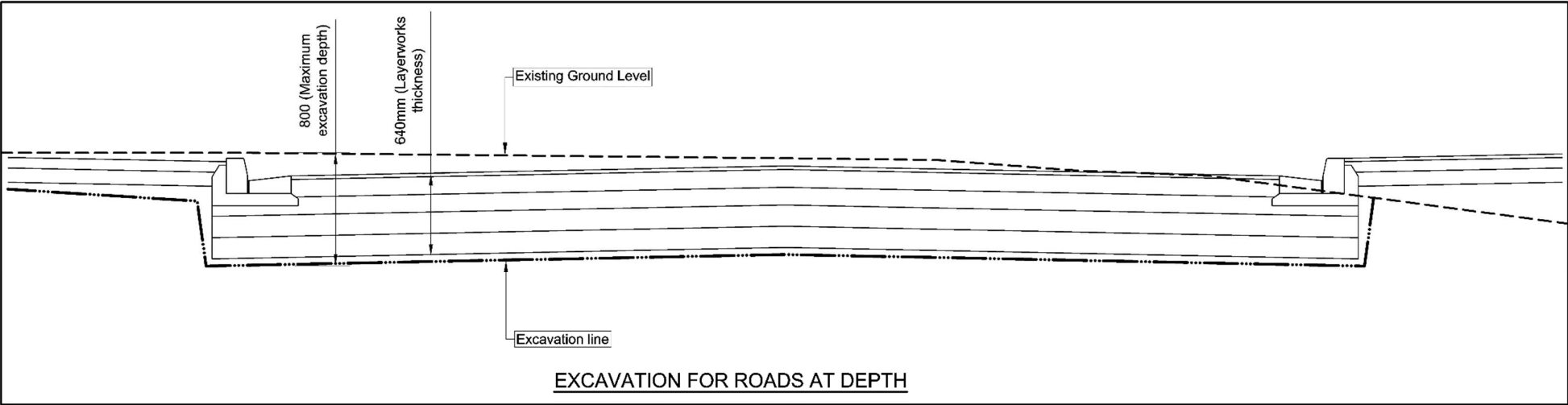
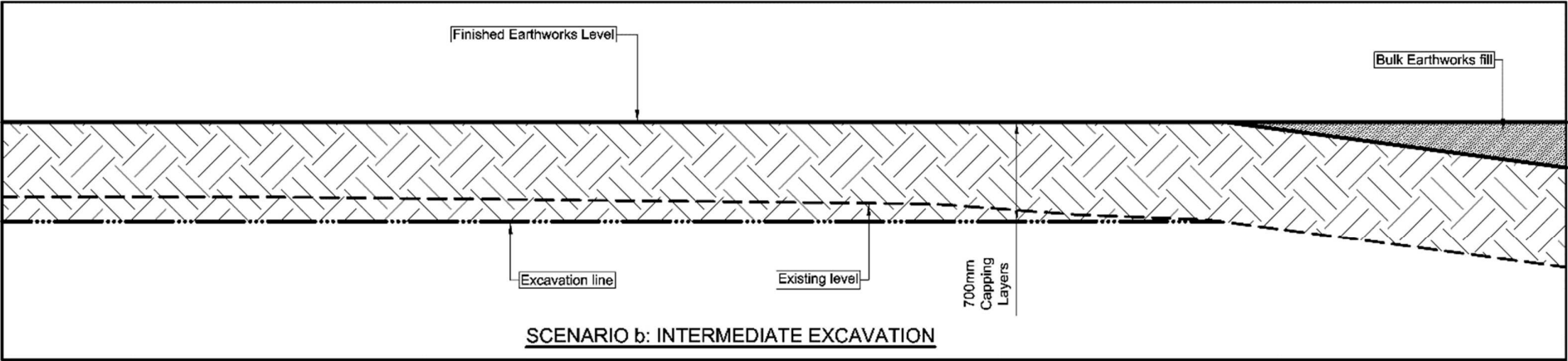
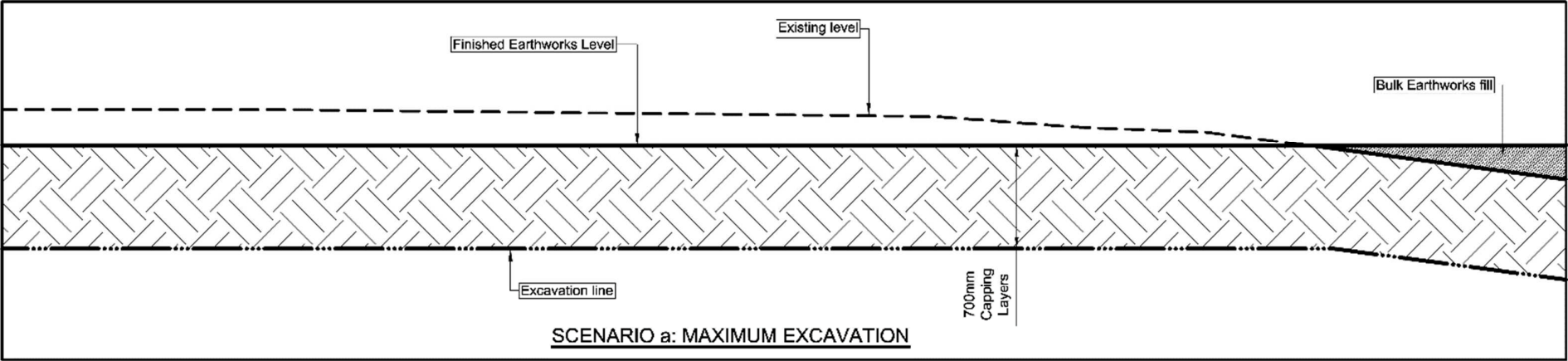


Figure 3: Pond details

ANNEXURE A: EXCAVATION FOR ROADS AT DEPTH

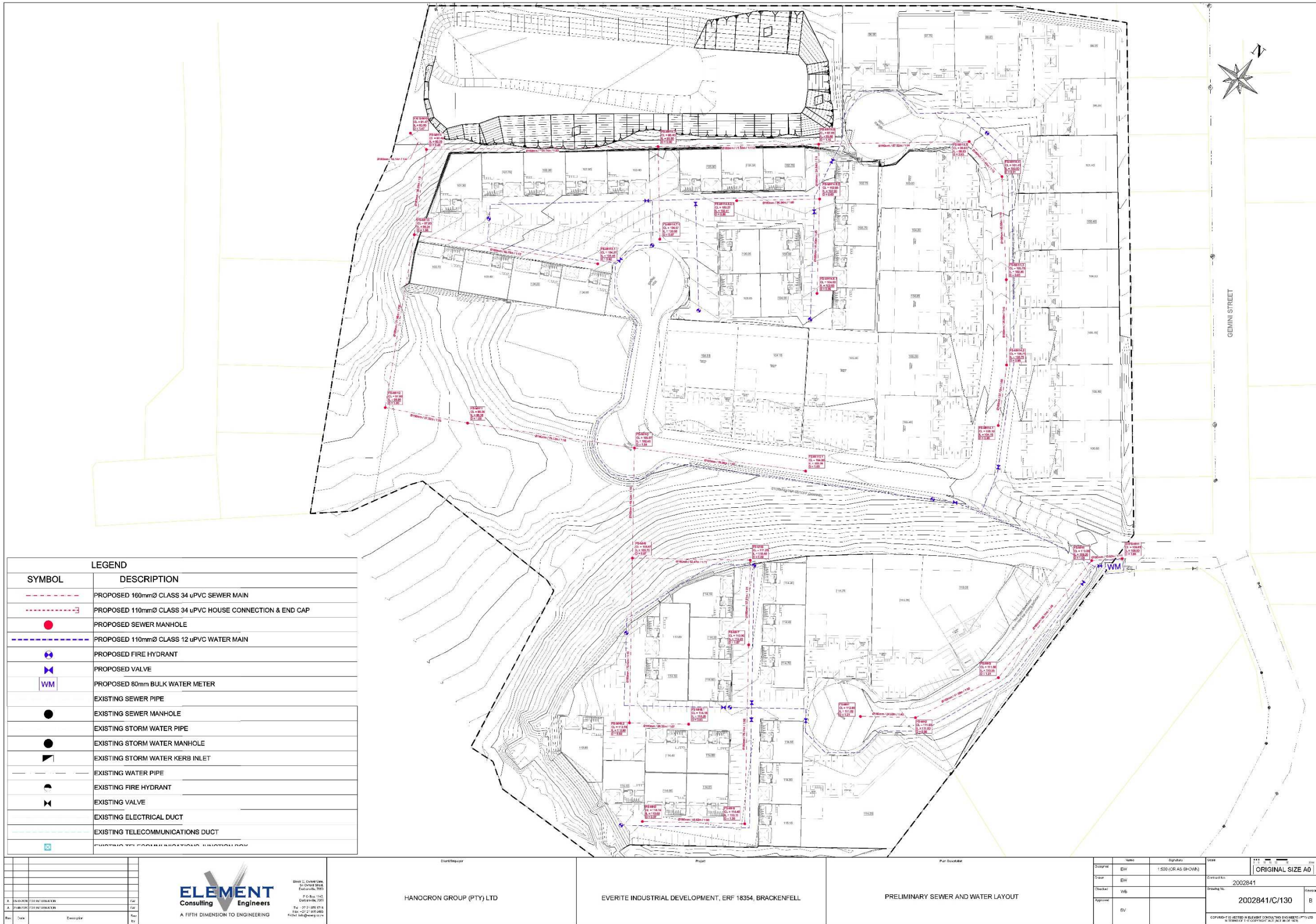


ANNEXURE B: BUILDING EARTHWORKS SCENARIOS

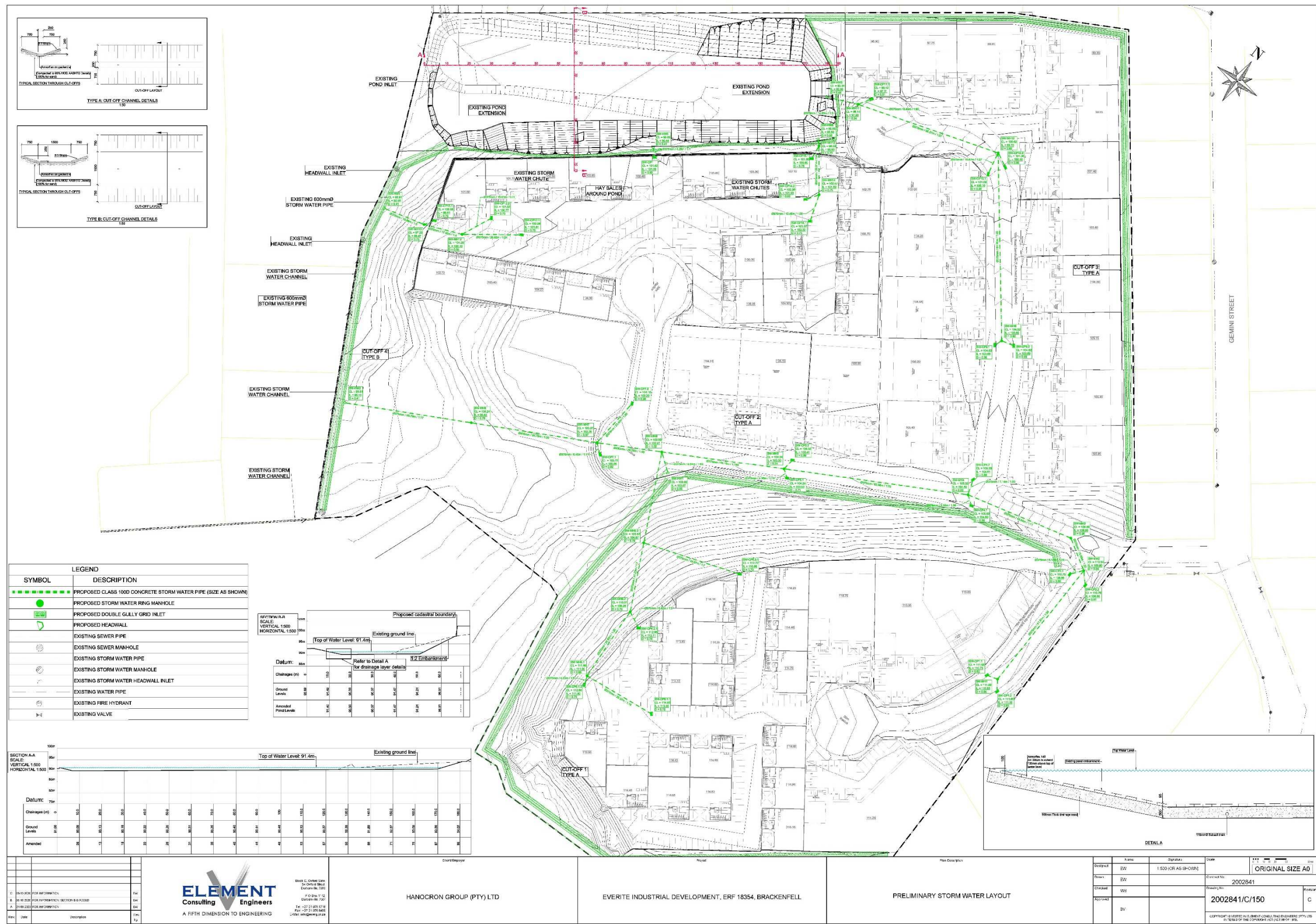


**ANNEXURE C: PRELIMINARY SEWER & WATER AND STORM WATER LAYOUT &
TRENCHING**

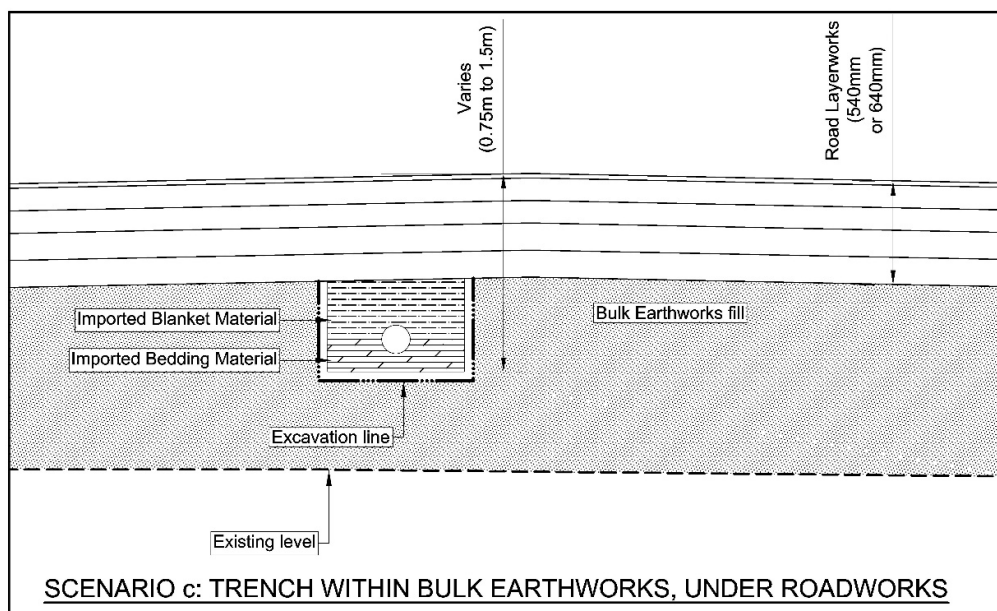
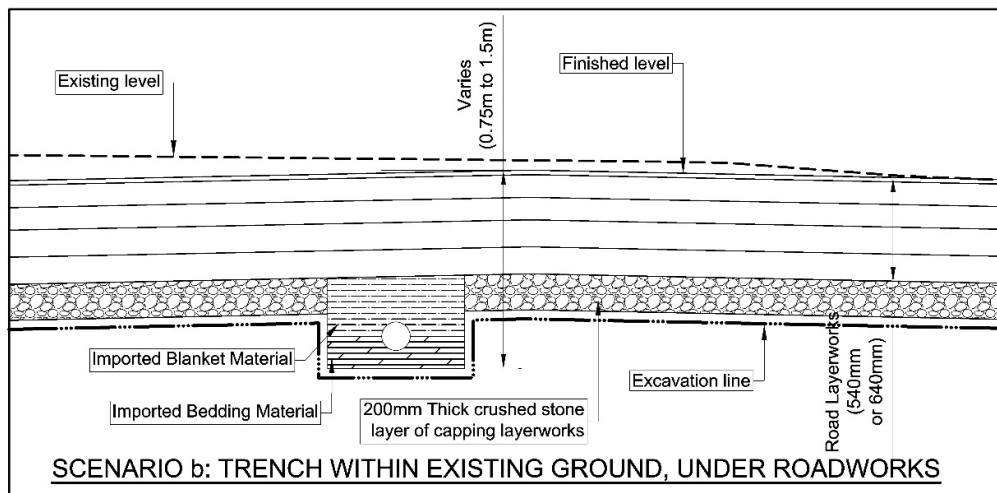
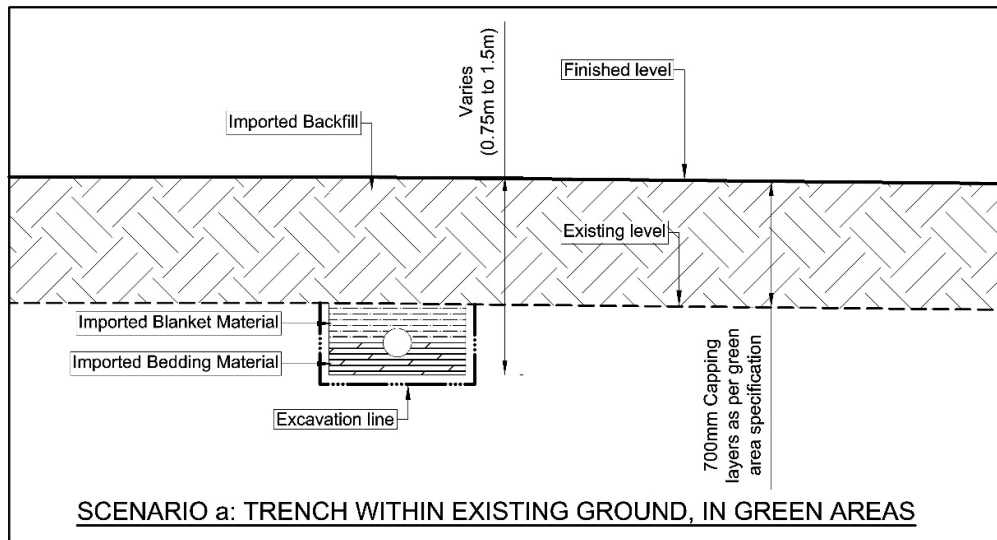
ANNEXURE C1: PRELIMINARY SEWER AND WATER LAYOUT (FULL SCALE ENCLOSED)



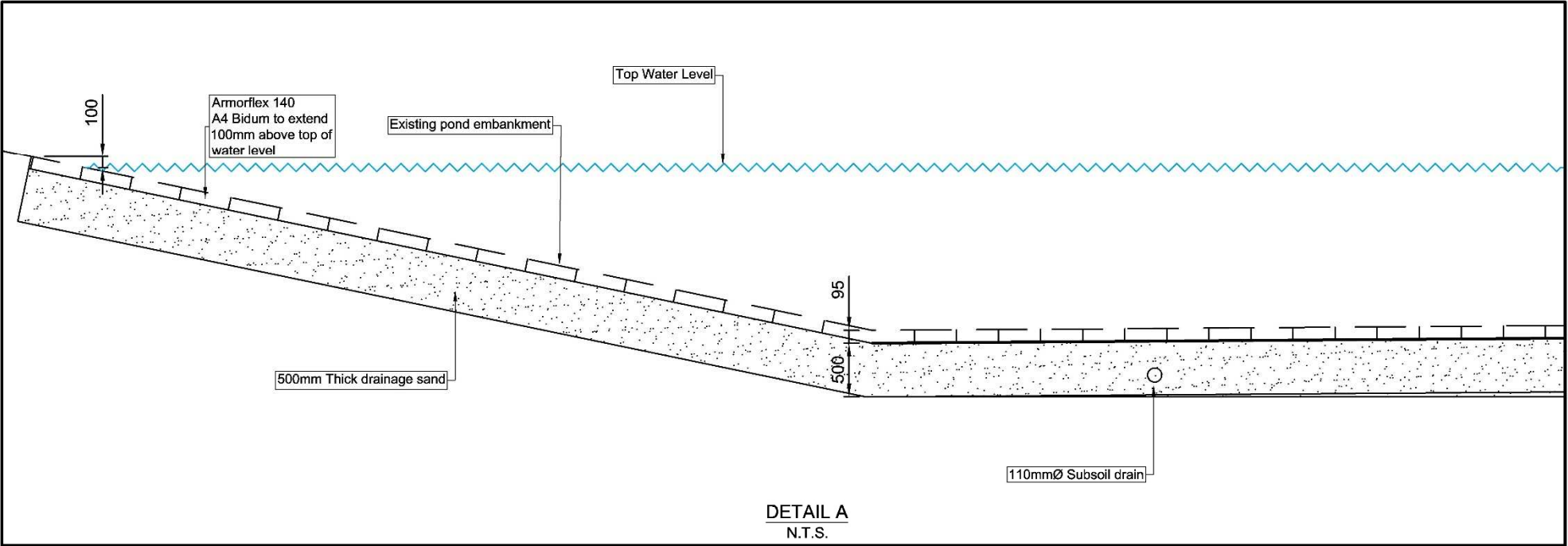
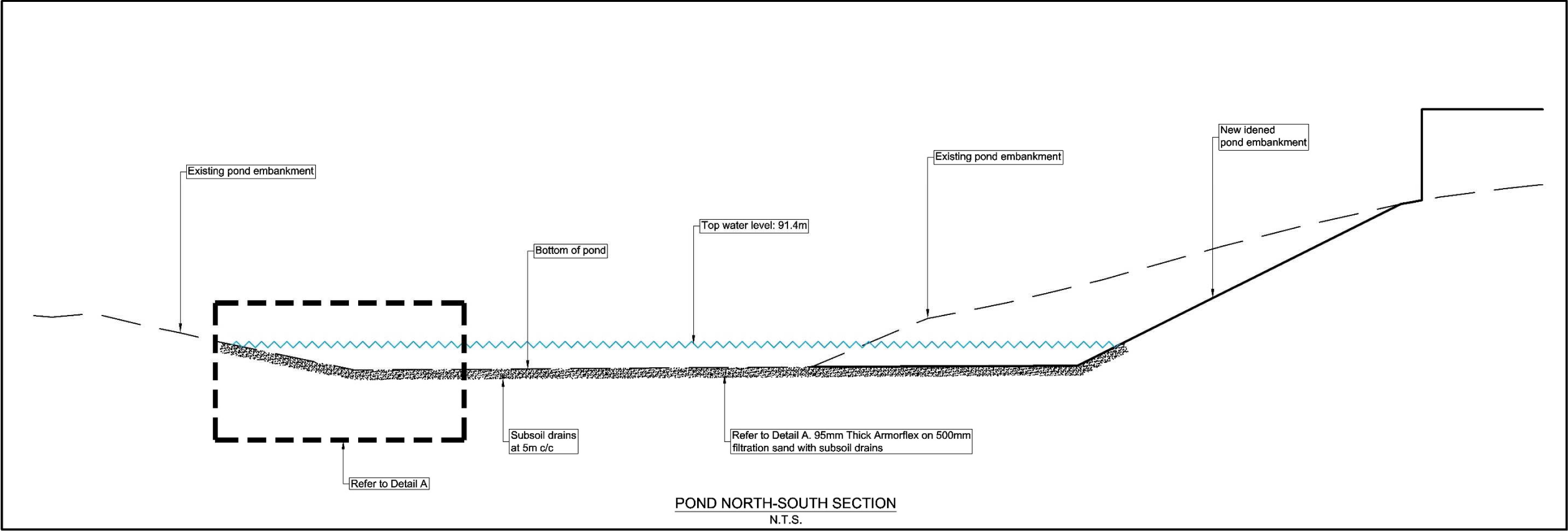
ANNEXURE C2: PRELIMINARY STORM WATER LAYOUT (FULL SCALE ENCLOSED)

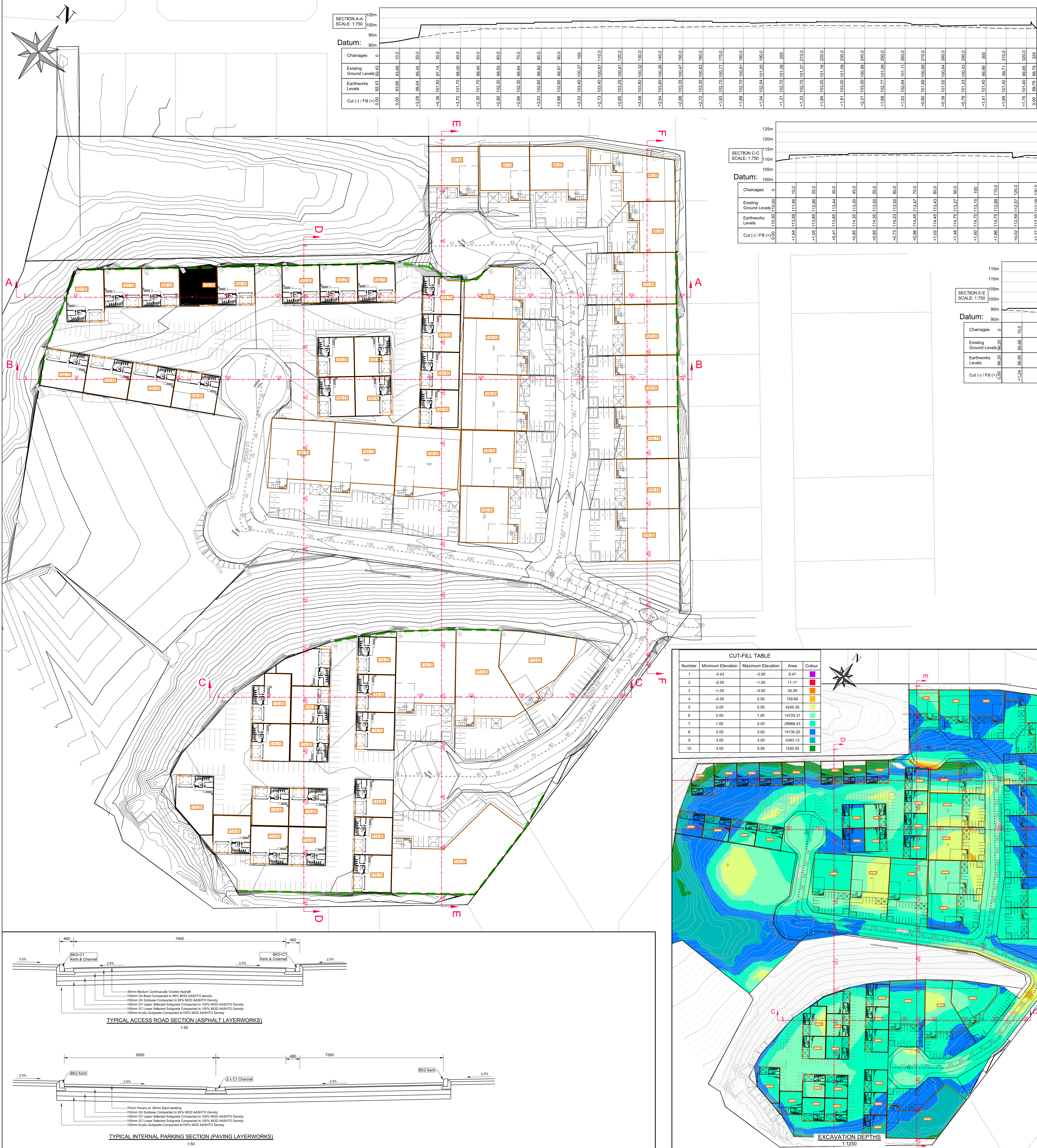


ANNEXURE C3: SERVICES TRENCHING SCENARIOS



ANNEXURE D: POND DETAILS





Rev.	Date	Description	Rev.	By
A	20-10-2020	FOR DISCUSSION	EW	
B	23-10-2020	FOR DISCUSSION	EW	
C	20-11-2020	FOR DISCUSSION	EW	
D	03-12-2020	FOR DISCUSSION	EW	
E	22-04-2021	FOR INFORMATION	EW	

Block C, Oxford Gate,
Durbanville, 7551

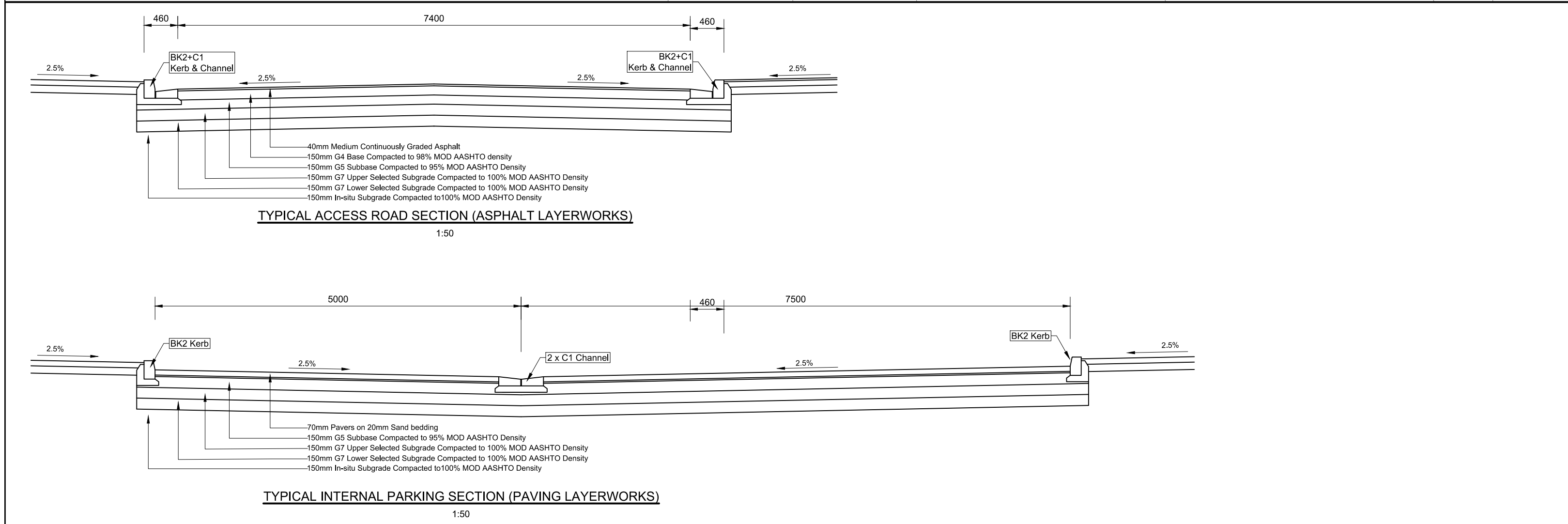
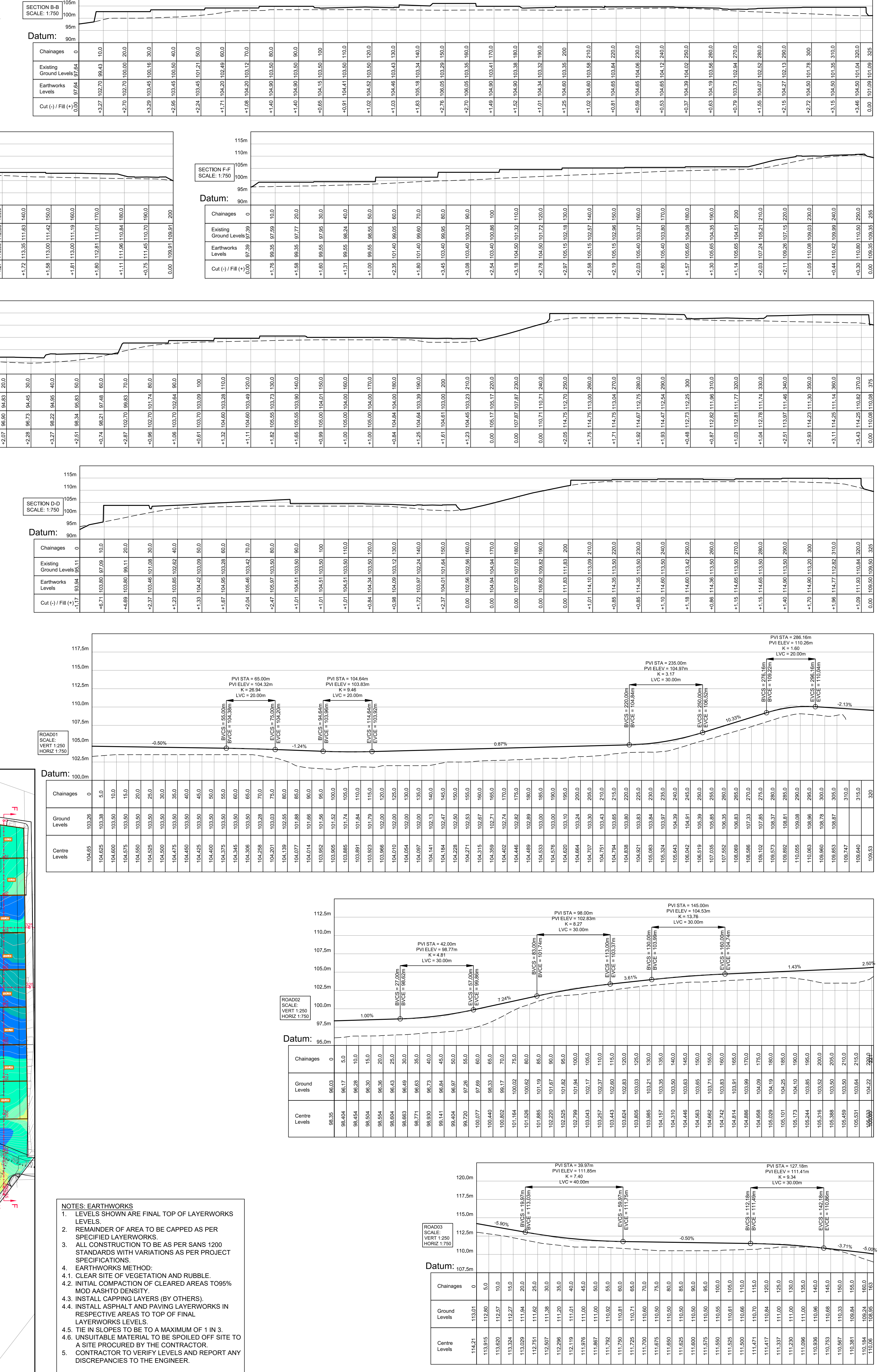
P O Box 1142,
Durbanville, 7551

Tel: +27 21 978 1718
Fax: +27 21 978 8485
E-Mail: info@element.co.za

Client/Employer	Project
HANOCRON GROUP (PTY) LTD	EVERITE INDUSTRIAL DEVELOPMENT, ERF 18354, BRACKENFELL

Plan Description	Design	Name	Signature	Scale
BULK EARTHWORKS LAYOUT	EW	1:750 (OR AS SHOWN)		ORIGINAL SIZE A0
	EW			
	WB			
	BV			

Contract No.	200284
Drawing No.	200284/C/001
Revision	m
COPYRIGHT IS RESERVED IN ELEMENT CONSULTING ENGINEERS (PTY) LTD IN TERMS OF THE COPYRIGHT ACT (ACT 98 OF 1978)	



Rev.	Date	Description	Rev.	By
A	20-10-2020	FOR DISCUSSION	EW	
B	23-10-2020	FOR DISCUSSION	EW	
C	20-11-2020	FOR DISCUSSION	EW	
D	03-12-2020	FOR DISCUSSION	EW	
E	22-04-2021	FOR INFORMATION	EW	

APPENDIX 4

Site Development Plan



APPENDIX 5

Project Schedule

[illegible]

EAP	
Specialists	
Applicant	
DFFE	
Public Comment Period	
Annual Shutdown Period	

APPENDIX 6

Application for Environmental Authorisation in terms of the NEMA



forestry, fisheries & the environment

Department:
Forestry, Fisheries and the Environment
REPUBLIC OF SOUTH AFRICA

APPLICATION FORM FOR ENVIRONMENTAL AUTHORISATION

Application for authorisation in terms of the National Environmental Management Act, Act No. 107 of 1998, as amended and the Environmental Impact Assessment (EIA) Regulations, 2014, as amended (the Regulations)

PROJECT TITLE

**APPLICATION FOR A WASTE MANAGEMENT LICENSE TO DECOMMISSION THE EVERITE
ASBESTOS SITE, ERF 18354, BRACKENFELL**

Indicate if the **DRAFT** report accompanies the application

Yes ☐
No ☒

Note that a Draft Basic Assessment Report has been prepared but will only be submitted to the Department for comment following submission of this application form and receipt of an application reference number.

PRE-APPLICATION CONSULTATION

Was a pre-application meeting held Note that the EAP did not request a pre-application meeting from the Department. A request form was however completed and submitted to the Department on 8 December 2021.	Yes		No	X
Date of the pre-application meeting	Not Applicable			
Reference number of pre-application meeting held	Not Applicable			
Was minutes compiled and submitted to the Department for approval	Yes		No	X

A copy of the pre-application meeting minutes must be appended to this application as **APPENDIX 1**.

Kindly note the following:

1. This form must always be used for applications that must be subjected to Basic Assessment or Scoping & Environmental Impact Reporting where this Department is the Competent Authority.
2. This application form is current as of **April 2021**. It is the responsibility of the Applicant / Environmental Assessment Practitioner (EAP) to ascertain whether subsequent versions of the form have been published or produced by the Competent Authority. The latest available Departmental templates are available at <https://www.environment.gov.za/documents/forms>.
3. The onus is on the Applicant/EAP to determine all applicable listed activities that would require Environmental Authorisation prior to the commencement of the construction activities. Should any revision of your development comprise any other activities that constitute a listed activity/ies as defined in Listing Notice 1, 2, or 3 of the EIA Regulations, 2014 as amended, it must also form part of the Application for Environmental Authorisation.
4. An application fee is applicable (refer to **Section 2**). Proof of payment must accompany this application. The application will not be processed without proof of payment unless one of the exclusions provided for in the Fee Regulations is applicable AND such information in the exclusion section of this application form has been confirmed by this Department.
5. A cover letter on your company letterhead indicating the nature of this application must be appended to this form i.e. new application for Environmental Authorisation, updated application for Environmental Authorisation.

6. An electronic copy of the signed application form must be submitted of both the Applicant and EAP.
7. This form must be marked **“for Attention: Chief Director: Integrated Environmental Authorisations”** and submitted to the Department at the format as prescribed in the process to upload documents form.
8. The required information must be typed within the spaces provided in the form. The sizes of the spaces provided are not necessarily indicative of the amount of information to be provided. Spaces are provided in tabular format and will extend automatically when each space is filled with typing. A legible font type and size must be used when completing the form. The font size should not be smaller than 10pt (e.g. Arial 10).
9. Where applicable black out the boxes that are not applicable in the form.
10. The use of the phrase “not applicable” in the form must be done with circumspection. Where it is used in respect of material information that is required by the Competent Authority for assessing the application, this may result in the rejection of the application as provided for in the Regulations.
11. Unless protected by law, all information contained in and attached to this application, will become public information on receipt by the Competent Authority. Upon request during any stage of the application process, the Applicant / EAP must provide any registered interested and affected party with the information contained in and attached to this application.
12. Should a specialist report or report on a specialised process be submitted at any stage for any part of this application, the terms of reference for such report and declaration of interest of the specialist must also be submitted.
13. Please note that this form must be copied to the relevant Provincial Environmental Department(s)
14. An application for Environmental Authorisation lapses if the applicant fails to meet any of the timeframes prescribed in terms of the EIA Regulations, 2014, as amended.
15. An application for environmental authorisation must be accompanied by a report generated by the web based environmental screening tool (in Appendix 11). This has been stipulated as a requirement for the submission of applications for environmental assessment in the Environmental Impact Assessment Regulations. The Screening Tool allows for the generation of a Screening Report referred to in Regulation 16(1)(v) of the Environmental Impact Assessment Regulations 2014, as amended, whereby a Screening Report is required to accompany any application for Environmental Authorisation.

Departmental Details

Online Submission:

EIAapplications@environment.gov.za or <https://sfiler.environment.gov.za:8443/>.

Please read the process for uploading files to determine how files are to be submitted to this Department.

Postal address:

Department of Forestry, Fisheries and the Environment
Attention: Chief Director: Integrated Environmental Authorisations
Private Bag X447
Pretoria
0001

Physical address:

Department of Forestry, Fisheries and the Environment
Attention: Chief Director: Integrated Environmental Authorisations
Environment House
473 Steve Biko Road
Arcadia

Queries must be directed to the Directorate: Coordination, Strategic Planning and Support at:
Email: EIAAdmin@environment.gov.za

1. COMPETENT AUTHORITY

Identified Competent Authority to consider the application:

Reason(s) in terms of S24C of NEMA:

The Department of Forestry, Fisheries, and the Environment (DFFE)

The proposal triggers NEMA listed activities as well as a waste listed activity which involves a hazardous waste. It is understood that the Competent Authority is thus the DFFE. This was also confirmed by the Department (M Govender pers. comms, 18 October 2021)

2. FEES

Applicants are required to tick the appropriate box below to indicate that either proof of payment is attached or that, in the applicant's view, an exclusion applies. Proof of payment or a motivation for exclusions must be attached as **APPENDIX 2** of this application form.

Proof of payment attached (refer to Appendix 2)	Yes	No
Payment Reference Number	Refer to Appendix 2	
Exclusion in terms of Regulation 2(a) or 2(b) of GNR 141 of 28 February 2014	Yes	No

An applicant is excluded from paying fees if:

The activity is a community based project funded by a government grant; or

- The applicant is an organ of state.

TYPE OF EXCLUSION	Tick where applicable. Proper motivation must be attached to the application
The activity is a community based project funded by a government Grant	Not Applicable
The applicant is an organ of state	Not Applicable

FEE AMOUNT	Fee
Application for an environmental authorisation for which basic assessment is required in terms of the Environmental Impact Assessment Regulations	R 2 000
Application for an environmental authorisation, for which S&EIR is required in terms of the Environmental Impact Assessment Regulations	R10 000

Department of Forestry, Fisheries and the Environment banking details for the payment of application fees:

<p>Payment Enquiries: Email: eiafee@environment.gov.za</p> <p>Banking details: ABSA Bank Branch code: 632005 Account number: 1044 2400 72 Current account</p> <p>Reference number: Reference number to be provided in the specific format indicating centre point coordinates of site in decimal degrees to 5 or 6 decimal places: latitude/longitude e.g. -33.918861/18.423300</p> <p>Status: Tax exempted</p>
--

3. GENERAL INFORMATION

Name of the Applicant:	Duro Brick Company (Pty) Ltd		
RSA Identity/ Passport Number:	7907125019082		
Name of contact person for applicant (if other):	Mr. Pieter Smith		
RSA Identity/ Passport Number:	7907125019082		
Responsible position, e.g. Director, CEO, etc.:			
Company/ Trading name (if any):	Duro Brick Company (Pty) Ltd		
Company Registration Number:	1929/001280/07		
BBBEE status:	Not applicable		
Physical address:	Unit 4 Muscadel House Brandwacht Office Park Trumali Street Stellenbosch		
Postal address:	The Picton, 134 King Edward Road, Parow		
Postal code:	7500	Cell:	083 700 4294
Telephone:	083 700 4294	Fax:	Not Applicable
E-mail:	pieter@hanocron.co.za		

Name of the landowner:	Duro Brick Company (Pty) Ltd		
Name of contact person for landowner (if other):	Mr. Pieter Smith		
Postal address:	The Picton, 134 King Edward Road, Parow		
Postal code:	7500	Cell:	083 700 4294
Telephone:	083 700 4294	Fax:	
E-mail:	pieter@hanocron.co.za		

Name of Person in control of the land:	Mr. Pieter Smith		
Name of contact person for person in control of the land:	Mr. Pieter Smith		
Postal address:	The Picton, 134 King Edward Road, Parow		
Postal code:	7500	Cell:	083 700 4294
Telephone:	083 700 4294	Fax:	
E-mail:	pieter@hanocron.co.za		

In instances where there is more than one landowner, please attach a list of those landowners with their contact details as **APPENDIX 3** Not Applicable.

Unless the application is in respect of linear activities or Strategic Infrastructure Projects as contemplated in the Infrastructure Development Act (Act No. 23 of 2014), written consent of landowner/s must be submitted in **APPENDIX 3**. Not Applicable as the applicant is the landowner.

The originally signed declaration undertaking by the applicant must be submitted as **APPENDIX 9**.

Provincial Environmental Authority:	Department of Environmental Affairs and Development Planning		
Name of contact person:	Pieter Van Zyl		
Postal address:	Private Bag X9086, Cape Town		
Postal code:	8000	Cell:	
Telephone:	0214834091	Fax:	
E-mail:	Pieter.vanZyl@westerncape.gov.za		

Local Municipality:	City of Cape Town: Northern Planning District		
Name of contact person in (Environmental Section)	Morné Theron		
Postal address:	Milnerton Municipal Offices, 87 Pienaar Road, Milnerton		
Postal code:	7441	Cell:	084 222 1410
Telephone:		Fax:	
E-mail:	Morne.Theron@capetown.gov.za		

In instances where there is more than one Local/Provincial Authority involved, please attach a list of those Local/Provincial Authorities with their contact details as **APPENDIX 4 – Not applicable**.

4. ENVIRONMENTAL ASSESSMENT PRACTITIONER (EAP) INFORMATION

Company of Environmental Assessment Practitioner:	Chand Environmental Consultants cc			
B-BBEE	Contribution level (indicate 1 to 8 or non-compliant)	Level 1	Percentage Procurement recognition	135 %
EAP name:	Marielle Penwarden Claudette Muller			
EAP Qualifications:	<u>Marielle Penwarden</u> BSc Honours Environmental Management (UNISA) BSc Environmental Management- Zoology (UNISA) Refer to Appendix E for the CV of the EAP. <u>Claudette Muller</u> MPhil in Environment, Society and Sustainability (University of Cape Town) BSc (Honours) in Environmental Science (cum laude) (Rhodes University) BSc in Biodiversity and Ecology (Stellenbosch University)			
Professional affiliation/registration:	<u>Marielle Penwarden</u> EAPASA: Registered EAP (2019/1988) SACNASP Candidate Natural Scientist (600001/15) <u>Claudette Muller</u> EAPASA registration underway			
Physical address:	1.2A, Richmond Centre, Main Rd, Plumstead, Cape Town, 7800			
Postal address:	PO Box 238, Plumstead			
Postal code:	7801	Cell:	NA	
Telephone:	(021) 762 3050	Fax:	(021) 762 3240	
E-mail:	Claudette@chand.co.za			

The appointed EAP must meet the requirements of Regulation 13 of the EIA Regulations, 2014 as amended. The declaration of independence of the EAP and undertaking under oath or affirmation that all the information submitted or to be submitted for the purposes of the application is true and correct must be submitted as **APPENDIX 10**.

5. PROJECT DESCRIPTION

Please provide a **detailed** description of the project.

Background

The Everite Factory in Brackenfell was established in 1945 and closed in October 2000. During its operation, the factory produced asbestos wastes in the form of sludges, broken sheeting and reject pipes which would be disposed of at a site created for this purpose alongside the factory. The total site covered an area of about 70 ha, while the asbestos waste site covers an area of some 9 ha. The site included various activities including the factory itself, the wastewater dam, the AC Pipes area, the moulded goods yard and the asbestos waste disposal site (Parsons & Associates, 2015).

Discharged product and other waste generated by the factory were disposed in the waste disposal site directly east of the factory. The site was classified as a GCB+ facility and was issued with a permit by DWAF on 12 August 1992. Since closure of the factory in 2000, the site was used to dispose of waste generated during the factory clean-up process 2. In 2001 the asbestos waste site was reshaped, capped, and had vegetation established on it and is currently not used (refer to Figure 1).



Figure 1: Recent aerial image of Everite site, showing the position of the wastewater dam and asbestos waste site (the asbestos waste site is the subject of this application)

The disposal area was the upper platform area in Figure 2 below. Upon commencement of the decommissioning process in 2000, parts of the factory that had been contaminated with asbestos were deposited in the existing disposal area as well as in a lower section of the site. The findings of a geotechnical assessment indicate that asbestos wastes are up to a maximum of ~8 m thick on the lower platform and ~6.5 m thick on the upper platform which, combined, cover about 10.29 Ha. This area is now referred to as the "Asbestos Waste Consolidation Site" (or "Asbestos Consolidation Area in Figure 2). It can be assumed for calculation purposes, and being conservative, the volume of asbestos waste on site is approximately 145,000 m³ and the mass is about 250,000 tons. Subsequent to the consolidation of asbestos waste in the area in question, the site was capped with soil and secured with formalized drainage channels. However, official closure of the site with a closure permit from the regulatory authorities was never completed. Over the years that followed, the covering has been undermined through mole activity and asbestos wastes are being pushed to the surface.

A geotechnical assessment in 2011 confirmed that there is an existing capping layer of silty sand and builders' rubble ranging from 0.2 m to 1.5 m below surface over the asbestos waste areas. In the lower platform, this layer is underlain by a further capping layer comprising clayey sand with ferruginised gravel, extending to depths in the range of 0.4 m to 1.0 m below existing ground level.



Figure 2. The Old Everite Factory area (~mid 1990's) Source: MEGA Geotechnical Assessment, 2011

A Basic Assessment process and Waste Management License (WML) application was also carried out at the time, with a final report being submitted to the then Department of Environmental Affairs (DEA) and the Department of Environmental Affairs and Development Planning (DEA&DP) in 2014. The Application lapsed as feedback from the then Department of Water and Sanitation on the final design was outstanding. The 2010 to 2014 investigations and assessments revealed a number of land use possibilities in terms of the proposed redevelopment and culminated in an authority feedback workshop to gauge the initial sentiment regarding the proposed redevelopment. In principle, future development of the site was agreed to by all authority representatives at the workshop. However, in order to ensure that any future development of the site is environmentally acceptable, it was agreed that the land should be 'capped' to prevent mole activity from exposing the buried asbestos waste.

Project Description

Duro Brick Company (Pty) Ltd ("Duro Brick") owns the land and they intend to decommission the site (Erf 18354, Brackenfell) in the form of permanent capping, with further development of a light industrial park thereon. The intention is to make use of the existing contours/ slope of the site and to keep any excavations to a minimum. A critical part of the capping/ closure of the site to ensure that the asbestos is firmly in place is the proposed development as some of the roadways and foundations would form part of the capping layers and would be constructed on top of the capping. The proposed capping design has been crafted in the context of the proposed end-use of the site.

This closure of the site requires a WML in terms of the existing WML for the facility, which was issued in terms of the National Environmental Management: Waste Act (No. 59 of 2008). The WML must come from the National Department of Environment, Forestry and Fisheries (DEFF), in consultation with their colleagues at the National Department of Water and Sanitation (DWS).

Note that, while the previous 2010-2014 Basic Assessment process required Environmental Authorisation from the provincial DEA&DP in terms of the National Environmental Management Act (No. 107 of 1998), as amended, this is no longer the case because the EIA Regulations have since been amended and the Listed Activities triggered at the time are no longer applicable.

It is intended that Duro Brick would develop and manage the site. Individual units would not be sold but be managed through long term leases.

Proposed Activity (Alternative 2- Preferred Alternative)

The preferred alternative (i.e. Alternative 2) proposed entails the capping of the full extent of the site, except for the retention pond and associated buffer area, as well as redevelopment on the site (which would provide a further capping layer).

The proposal has three key elements:

- Total capping proposed of up to approximately 95,000 m²;
- Redevelopment, with some occurring on top of the capping layer, of up to approximately 50,096 m²; and
- Retention pond and associated buffer area of approximately 14,250.9 m².

Note that the proposed development footprint can be divided into an area for roads and parking of approximately 18,091 m² and building footprints of approximately 32,005 m². The intention is to have as limited excavation on the site as possible, in order to limit disturbance to the asbestos.

There are different capping strategies proposed for different areas of the site as they relate to the proposed industrial development. In sections where there would be no infrastructure (i.e. roads and buildings), like the green/landscaped areas, the capping layer would be more robust, while areas which would house development would have a thinner capping layer, with the layer works for the roads and foundations and platforms for the buildings providing an additional capping layer on top of the engineered capping layer or replacing certain of the capping layers. Furthermore, in efforts to reduce the disturbance of asbestos on site as much as possible, the proposed capping and development would require minimal excavation, with compaction and importing of fill to realise the levels required. The method of compaction would also be undertaken using the best practice for minimising the risk of spread of asbestos during these works. The proposed capping strategy is outlined below and included in Appendix 14.

Compaction for In-Situ Conditions

The in-situ terrain would be compacted before any fill and/or capping layers are placed and said terrain would be compacted to 95 % MOD AASHTO (Walters, 2020).

Proposed Capping

The capping layerworks to be undertaken in depend on the total fill required to achieve the final earthworks levels required for the proposed development (i.e. different components thereof, such as roads or building platforms, would need different levels) (Walters, 2020). Therefore, there is a different capping strategy proposed for each of the following areas:

- Green/ Landscaped Areas (i.e. the areas surrounding the proposed development structures, to be landscaped);
- Roads;
- Building Platforms;
- Services; and
- The Stormwater Pond.

The approach for each of these is described below.

Green Areas

Existing vegetation would be cleared from these areas and the proposed capping layerworks would be constructed directly onto the compacted in-situ material (Walters, 2020). The capping layer is depicted in Figure 3 and would comprise the following:

- A cement stabilized layer to a thickness of 300 mm;
- A graded crushed stone layer to a thickness of 150 mm and cover this layer with another woven geotextile; and
- Loosely place a 200 mm layer of topsoil that will promote vegetation in the green areas.

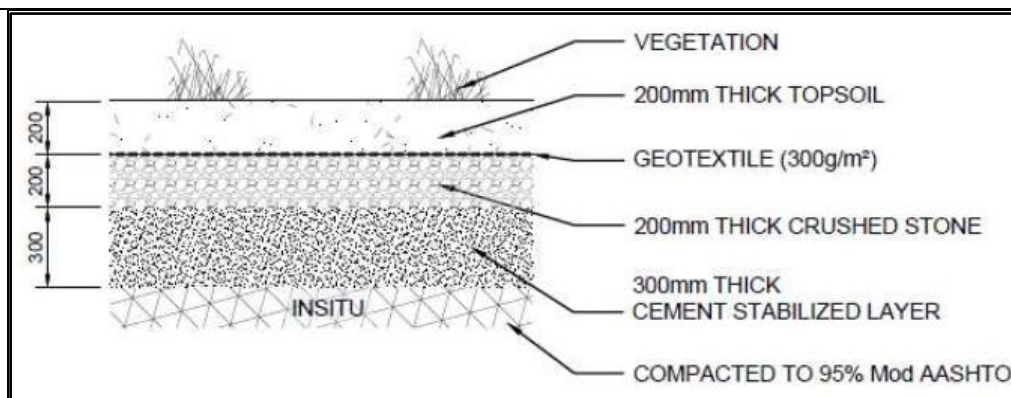


Figure 3. Proposed Capping layerworks for the Green Areas (source: Walters, 2020)

Due to the presence and thickness of this existing capping material as described above, J&W finds that an additional capping layer (barrier) of 500 mm is sufficient. Furthermore, one of the recommendations from the geotechnical assessment stated, "Due to the likely compressible nature of the materials present on site, it is recommended that the platform levels remain more or less the same i.e., fills greater than 500 mm must not be constructed."

There would be instances where services would need to be installed across green areas. Refer to "Services" below for a description thereof. Furthermore, given the mole activity, which is prevalent on site, a rodent barrier would be installed along the entire perimeter of the site (Walters, 2020). This would entail the excavation of 1m deep trench that would be lined with a HDPE geomembrane and backfilled with a cement stabilised material (Walters, 2020). The geomembrane would continue across the top of the trench and be placed 100 mm up against the property boundary (Walters, 2020). The typical cross section of the proposed rodent barrier is indicated in Figure 4.

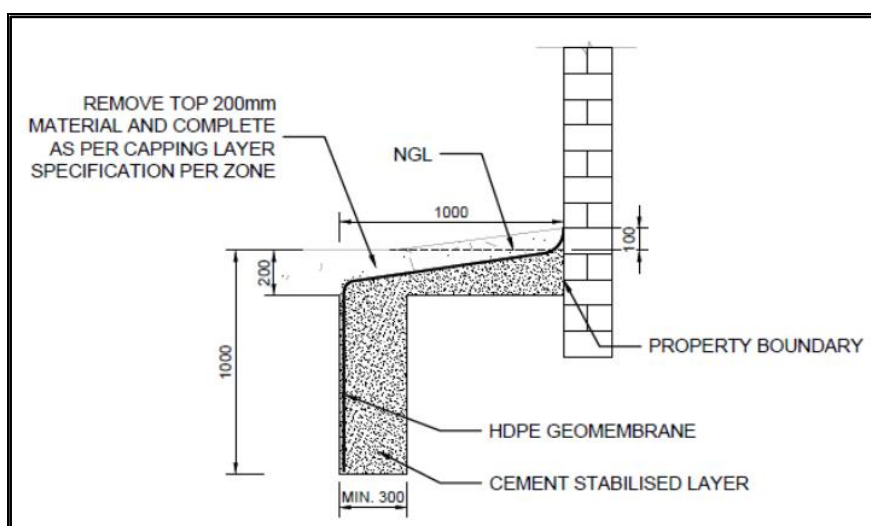


Figure 4. Typical cross-section of proposed rodent barrier (source: Walters, 2020)
Roads

Walters (2020) explains that the roads can be classified into two categories, based on the proposed layerworks, namely main access roads (asphalt finish) and internal parking areas (brick paved finish). Typical road sections are shown in Figure 5 and Figure 6.

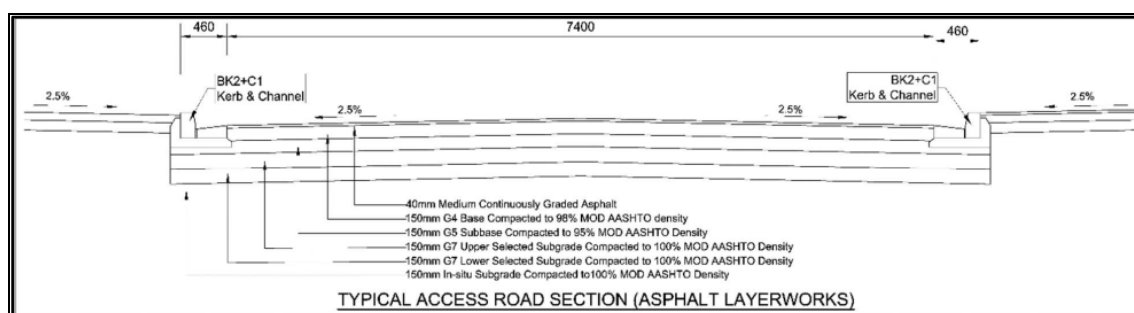


Figure 5. Proposed Road Layerworks: Asphalt- 640mm total thickness (source: Walters, 2020)

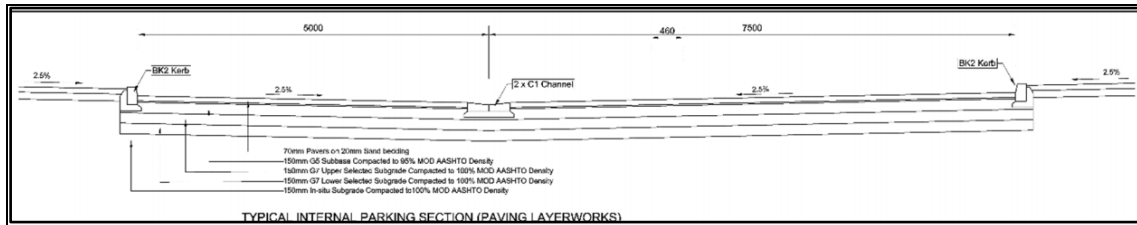


Figure 6. Proposed Road Layerworks: Brick Paving- 540mm total thickness (source: Walters, 2020)

The proposed road layerworks with the asphalt finish include the following layers:

- 40 mm Premix
- 150 mm G4
- 150 mm G5
- 150 mm Upper Selected
- 150 mm Lower Selected

Under the asphalt roads, the proposed capping as described above would be replaced by the abovementioned road layerworks (Walters, 2020). Where the total fill required to achieve final level is less than the proposed road layerworks thickness, excavation would be required into the in-situ material (Walters, 2020). This is illustrated in Figure 7, where the final level is approximately 70 mm below the existing level (Walters, 2020). This scenario would only be limited to a 135 m² area (Walters 2020) as the intention is to limit excavation into the asbestos as much as possible.

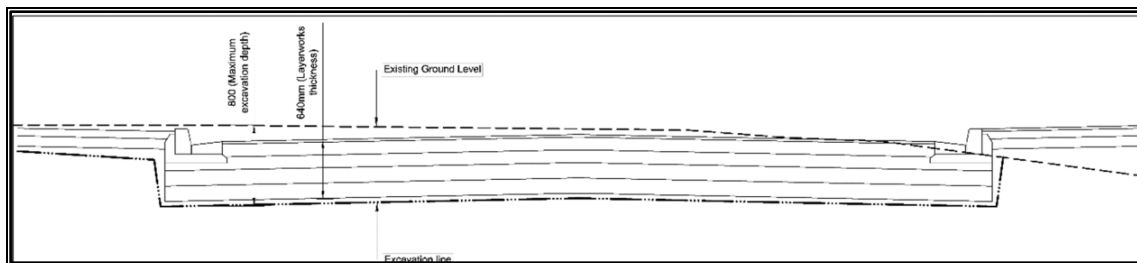


Figure 7. Excavation for road layerworks at depth (source: Walters, 2020)

The proposed road layerworks with the brick paving finish include the following layers:

- 70 mm Paver on 20 mm sand bedding
- 150 mm G5
- 150 mm Upper Selected
- 150 mm Lower Selected

Where the brick paving final earthworks, levels are close to the existing ground and excavation is required, the 200mm thick crushed stone layer of the abovementioned proposed capping layerworks would be placed underneath the bricking paving layerworks are constructed (Walters, 2020).

Building Platforms

Walters (2020) indicates that the proposed building platform areas can be categorised into the following three capping scenarios:

- A. Final at, or just below the existing level (maximum excavation into the asbestos would be required here- refer to Figure 8);
- B. Final level between 0 mm and 700 mm above existing level (intermediate excavation into the asbestos would be required here- refer to Figure 8); and
- C. Final level more than 700 mm above existing level (no excavation into the asbestos would be required here).

Each scenario would entail varying degrees of excavation into the existing ground, from 700mm excavation to no excavation into the existing ground (Walters, 2020). Excavation of 700mm into the existing ground would require capping with no additional fill (scenario A above, refer to Figure 9) while the scenario with no excavation would not require capping layerworks and only bulk earthworks (scenario C above) (Walters, 2020). These bulk earthworks would comprise of competent material constructed in 200 mm thick layer and compacted to 95% MOD AASHTO (refer to Figure 8) (Walters, 2020).

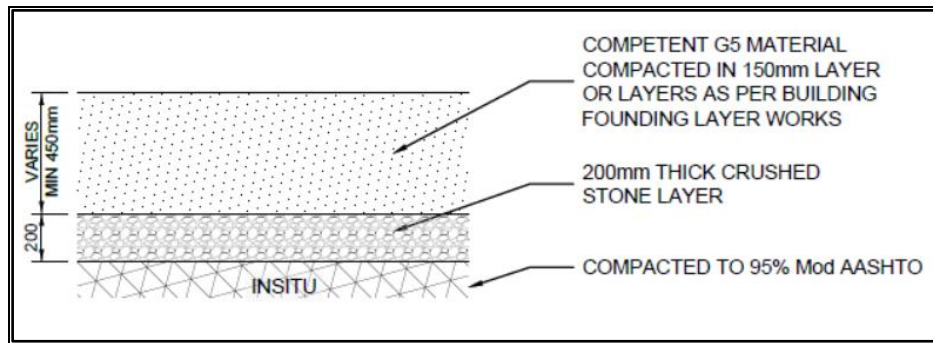


Figure 8. Excavation for road layerworks at depth (source: Walters, 2020)

The area where maximum excavation is required for building platforms would be limited to 25 m². Hence, Figure 8 is applicable for scenarios A and B described above and depicted in Figure 9 and Figure 10 respectively.

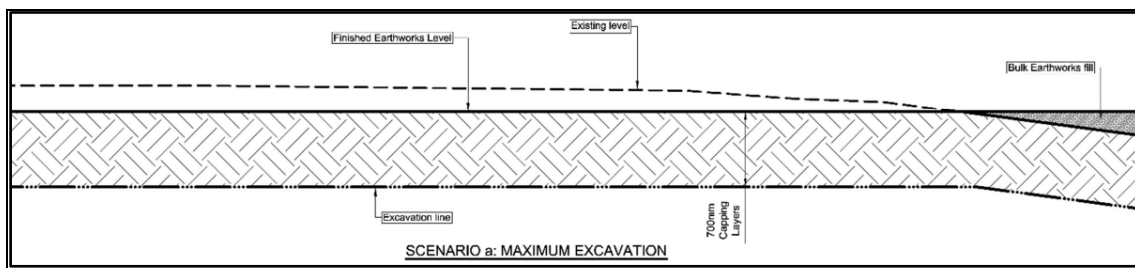


Figure 9. Maximum excavation scenario (source: Walters, 2020)

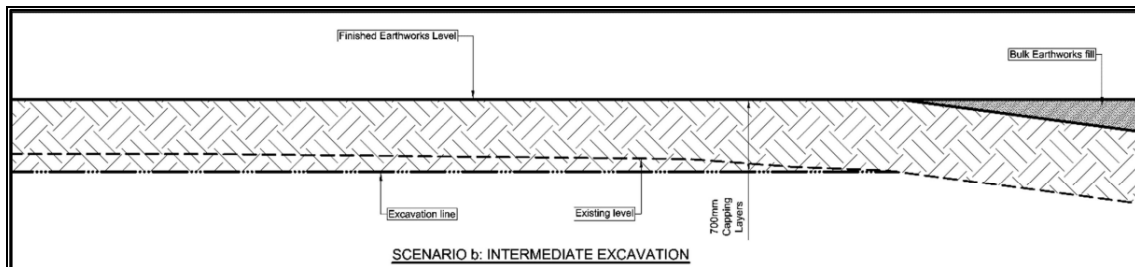


Figure 10. Intermediate excavation scenario (source: Walters, 2020)

Services

The proposed services would largely be located within the proposed earthworks and/or capping layers as described above (Walters, 2020). They would generally be to a maximum depth of 1 m (Walters, 2020).

The services would be located within roads or parking areas, or traverse across areas where no bulk earthworks would need to occur (Walters, 2020). It is in areas such as those where no bulk earthworks would be necessary (i.e. the green/landscaped areas) that the proposed services would be deeper than the proposed capping layers and so excavation into the existing ground and asbestos would be required (Walters, 2020).

However, there are instances where this would not be possible and so Walters (2020) provides three scenarios relevant to the proposed services, namely:

- A. Deeper than the proposed capping layer, in areas of no bulk earthworks/roadworks (refer to Figure 11);
- B. Within the existing ground under roads/parking (refer to Figure 12); or
- C. Within the bulk earthworks fill, under roads/parking (refer to Figure 13).

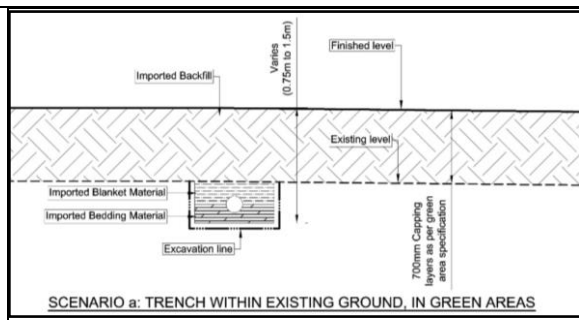


Figure 11 Scenario A: Services- Trench within existing round (Green Areas) (source: Walters, 2020)

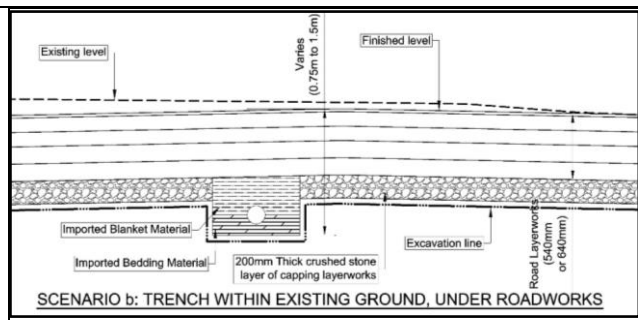


Figure 12 Scenario B: Services- Trench within existing round (Under road works) (source: Walters, 2020)

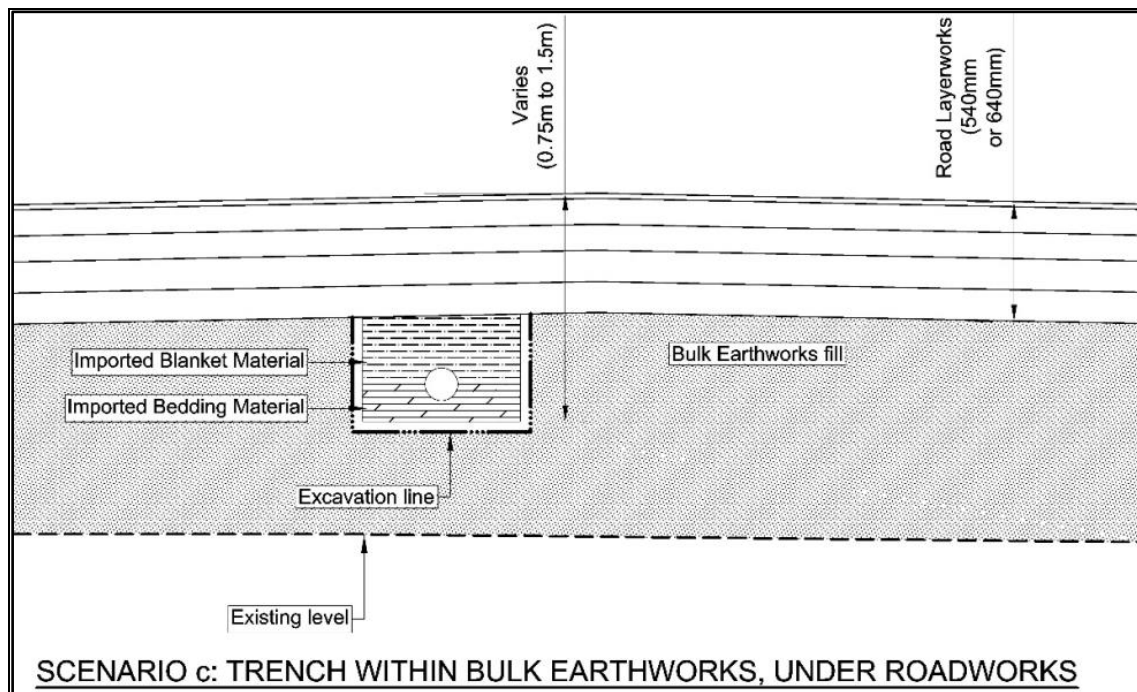


Figure 13 SCENARIO C: SERVICES- TRENCH WITHIN Bulk Earthworks (under roadworks) (SOURCE: WALTERS, 2020)

The proposed development has existing water, sewer, and stormwater connections to the property. Internal reticulation would need to be installed for the development and there would be a stormwater pond in the north-west corner of the site (refer to Figure 14). The City of Cape Town has confirmed available services capacity for refuse, electricity, potable water, and sewer and this will be included in the Draft BAR. Note that none of the proposed services trigger Listed Activities in terms of the EIA Regulations, 2014 (as amended) because the site is located in an urban area, which is an exclusion for these activities.

Trenches for services would also not be excavated into the asbestos as much as possible, but rather into the new, imported fill and road layerworks, to limit disturbance of asbestos on site. However, there would be certain instances where excavation into the ground would be necessary.

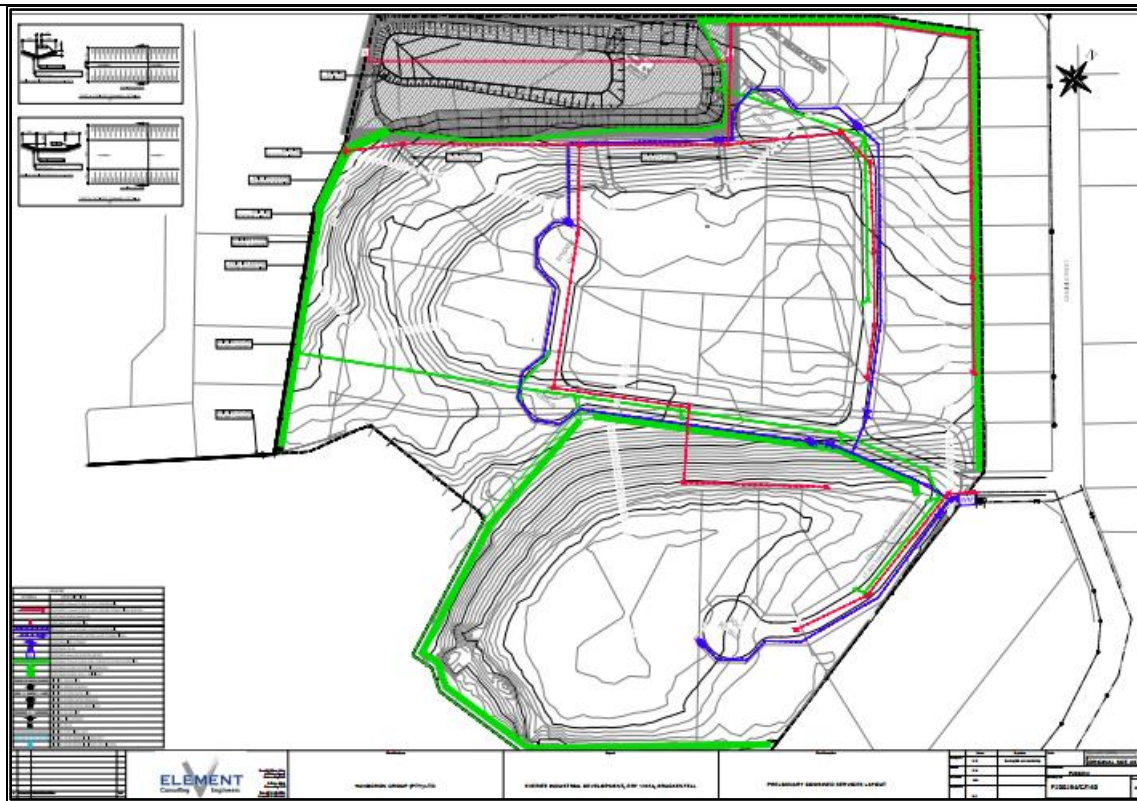


Figure 14: Proposed Services, Combined (Source: Element Consulting Engineers, 2020)

Stormwater Pond

The existing stormwater pond would need to be extended in length and widened (Walters, 2020), and this would require excavation into the existing pond embankment. The pond would include a drainage layer of 500 mm thick, clean drainage sand (Walters, 2020). Armorflex grass blocks would line the bottom and side slopes of the pond (Walters, 2020). The drainage layer would contain a series of 100 mm diameter subsoil drains. There would also be planting in the pond.

A vegetated buffer (i.e. a green area) would be provided around the pond and would be capped as per the "Green Areas" described above. The total extent of capping proposed would be 95,000 m².

Access

There is currently access to the site. The existing access road would be used, and the site is only accessible via that single point/ gate (which is currently locked and accessed controlled). The site is accessed from Virgo Close, off Gemini Road in Brackenfell Industria. Access to the site is also restricted to personnel who are registered asbestos contractors or those who have been appropriately trained and passed the asbestos medicals required to access the site.

Road Upgrades

An additional right-turn lane is proposed at the Okavango Road/Old Paarl Road intersection, to be provided westbound along Old Paarl Road. The northern approach would be widened to provide a new northbound acceleration lane along Okavango Road for the eastbound left-turn slip. A 2m wide sidewalk would also be provided along Old Paarl Road. It is also recommended that a sidewalk be provided along the southern side of Leo Close and sidewalks should also be provided along the major internal roads. Refer to Figure 15 below.



Figure 15: Proposed Upgrades at Okavango Road/Old Paarl Road Intersection (Source: Krogsheepers & Arangie, 2021)

Proposed End Use

The proposed development would be a secure industrial estate comprising a combination of larger portions ranging from around 6095 m² to 10800 m² and smaller portions averaging 1500 m² with an internal road (refer to below) network, some green areas and a stormwater detention pond (refer to Figure 16). Refer to Figure 17 and Figure 18 below for images of larger and smaller units respectively. The proposed industrial park would be fenced around the perimeter, and have a single entrance and exit gate, which would be controlled by security personnel.

It is intended that when portions are sold, there would be a title deed condition (as well as an estate rule) which does not permit any future excavations be allowed. The proposed capping would not, therefore, be a final layer but rather the proposed roads, paved areas and factory floors (typically comprising concrete and cement slabs) would be developed on top of it with a view to adding further capping layers and that this would also physically limit and deter future excavations (refer to Figure 19).



Figure 16. Proposed Development Plan (SOURCE: CHAMELEON ARCHITECTS, 2020)



Figure 17. Artist Render of Small Units (source: P. Smith, 02/09/2020)



Figure 18. Artist Render of Larger Units (Source: P. Smith, 02/09/2020)

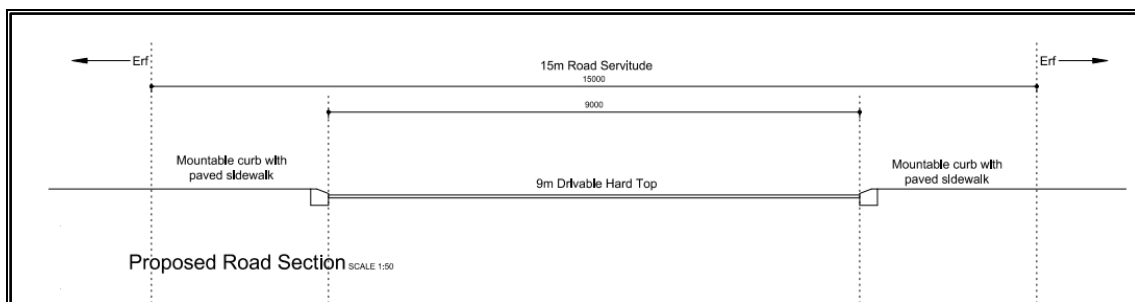


Figure 19 Proposed Road Cross-section (source: Chameleon Architects, 2020)
Servicing

Does the project form part of a Renewable Energy Development Zone (REDZ) as per GN 114?	YES	NO
Does the project form part of an Electricity Grid Infrastructure (EGI) as per GN 113?	YES	NO
Does the project form part of any of the Strategic Infrastructure Projects (SIPs) as described in the National Development Plan, 2011?	YES	NO
Did you attached the confirmation of SIP obtained from the relevant sector representative (SIP Coordinators) and not a motivation from an EAP	YES	NO

If **YES**, is selected:

- For an application in terms of GN 113 and/or 114, then a map confirming this must be attached;
- For a SIP project, kindly indicate which SIPs are applicable in **APPENDIX 5** and **attach** the confirmation of SIP applications from the relevant sector representative in **APPENDIX 5**. Should no proof be provided, the application will be considered as a normal EIA Application. **Not Applicable**

Please indicate which sector the project falls under by ticking the relevant block in the table below:

Table 1: National Sector Classification in terms of Regulation 9 of the EIA Regulations, 2014 as amended

1	Infrastructure /Transport Services/Roads— Public	42	Services/Waste Management Services/Disposal facilities—General
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2	Infrastructure /Transport Services/Roads— Private		43	Services/Waste Management Services/Treatment facilities— Hazardous	
3	Infrastructure /Transport Services/Rail— Public		44	Services/Waste Management Services/Treatment facilities— General	
4	Infrastructure /Transport Services/Rail— Private		45	Services/Waste Management Services/Storage Facilities—General	
5	Infrastructure /Transport Services/Airport/Runways/Landing Strip/Helipad—Commercial		46	Services/Waste Management Services/Storage Facilities— Hazardous	
6	Infrastructure /Transport Services/Airport/Runways/Landing Strip/Helipad—Private		47	Services/Waste Management Services/Storage Facilities—Nuclear	
7	Infrastructure /Transport Services/Airport/Runways/Landing Strip/Helipad—Public Services		48	Services/Burial and cemeteries— Cemeteries	
8	Infrastructure /Transport Services—Ports		49	Services/Burial and cemeteries— Cremators	
9	Infrastructure /Transport Services—Inland Waterways		50	Services/Water services/Storage— Dams	
10	Infrastructure /Transport Services—Marina		51	Services/Water services/Storage— Reservoirs	
11	Infrastructure /Transport Services—Canal		52	Services/Water services— Desalination	
12	Infrastructure /Localised infrastructure— Infrastructure in the Sea/Estuary/Littoral Active Zone/Development Setback/100M Inland/or coastal public property.		53	Services/Water services—Treatment & Waste Water	
13	Infrastructure /Localised infrastructure—Zip Lines & Foefie Slides		54	Services—Hospitality	
14	Infrastructure /Localised infrastructure— Cableway or Funiculars		55	Mining—Prospecting rights	
15	Infrastructure /Localised infrastructure— Billboards		56	Mining—Mining Permit	
16	Infrastructure /Localised infrastructure/Storage/Dangerous Goods/Hydrocarbon—Gas		57	Mining—Mining Right	

17	Infrastructure /Localised infrastructure/Storage/Dangerous Goods/Hydrocarbon—Petroleum		58	Mining/Exploration Right—Gas or Oil Marine	
18	Infrastructure /Localised infrastructure/Storage/Dangerous good— Chemicals		59	Mining/Exploration Right—Gas or Oil Terrestrial	
19	Utilities Infrastructure/Pipelines/water— Fresh/Storm Water		60	Mining/Production Right—Gas or Oil Marine	
20	Utilities Infrastructure/Pipelines/water— Waste Water		61	Mining/Production Right—Gas or Oil Terrestrial	
21	Utilities Infrastructure/Pipelines/Dangerous Goods—Chemicals		62	Mining/Underground gasification of coal—Oil	
22	Utilities Infrastructure/Pipelines/Hydrocarbon— Petroleum		63	Mining/Beneficiation—Hydrocarbon	
23	Utilities Infrastructure/Pipelines/Hydrocarbon—Gas		64	Mining/Beneficiation—Mineral	
24	Utilities Infrastructure/Telecommunications/ Radio Broadcasting—Tower		65	Agriculture/Forestry/ Fisheries—Crop Production	
25	Utilities Infrastructure/Telecommunications/ Radio Broadcasting—Mast		66	Agriculture/Forestry/ Fisheries— Animal Production	
26	Utilities Infrastructure/Telecommunications/ Radio Broadcasting—Receivers		67	Agriculture/Forestry/ Fisheries— Afforestation	
27	Utilities Infrastructure—Marine Cables		68	Agriculture/Forestry/ Fisheries/Aquaculture/Inland—Alien	
28	Utilities Infrastructure/Electricity /Generation/Non Renewable/Hydrocarbon —Petroleum		69	Agriculture/Forestry/ Fisheries/Aquaculture/Inland— Indigenous	
29	Utilities Infrastructure/Electricity /Generation/Non Renewable/Hydrocarbon —Coal		70	Agriculture/Forestry/ Fisheries/Aquaculture/Marine—Alien	
30	Utilities Infrastructure/Electricity /Generation/Non Renewable—Nuclear		71	Agriculture/Forestry/ Fisheries/Aquaculture/Marine— Indigenous	

31	Utilities Infrastructure/Electricity /Generation/Renewable—Hydro		72	Agriculture/Forestry/ Fisheries—Agro-Processing	
32	Utilities Infrastructure/Electricity /Generation/Renewable/Solar—PV		73	Transformation of land - Indigenous vegetation	X
33	Utilities Infrastructure/Electricity /Generation/Renewable/Solar—CSP		74	Transformation of land—From open space or Conservation	
34	Utilities Infrastructure/Electricity /Generation/Renewable—Wind		75	Transformation of land—From agriculture or afforestation	
35	Utilities Infrastructure/Electricity /Generation/Renewable—Biomass/ biofuels		76	Transformation of land—From mining or heavy industrial areas	
36	Utilities Infrastructure/Electricity /Generation/Renewable—Wave		77	Any activities within or close to a watercourse	
37	Utilities Infrastructure/Electricity /Distribution and Transmission—Power line		78	Any activity in an estuary, on the seashore, in the littoral active zone, or in the sea.	
38	Utilities Infrastructure/Electricity /Distribution and Transmission—Substation		79	Activity requiring permit or licence in terms of National or Provincial legislation governing the release or generation of emissions—Emissions	
39	Utilities Infrastructure/Gas /Distribution and Transmission—Compressor Station		80	Activity requiring permit or licence—Marine Effluent	
40	Services/Waste Management Services/Disposal facilities—Hazardous		81	Activity requiring permit or licence—Fresh Water Effluent	
82	Release of Genetically Modified Organisms		83	Other – Decommissioning Activity/Waste - Hazardous waste	X

Table 1

Does the listed activity/ies applied for form part of a larger project which is not a listed activity itself e.g. a road that is a listed activity that is needed to access a drilling site where the drilling does not constitute a listed activity.	YES	NO
If indicated yes above, please provide a brief description on how the activity/ies relate to the larger project that forms part there of: Not Applicable		

6. SITE DESCRIPTION

Provide a detailed description of the site involved in the application.

Province/s	Western Cape
District Municipality/ies	City of Cape Town
Local Municipality/ies	City of Cape Town
Ward number/s	8
Nearest town/s	Brackenfell
Farm name/s and number/s	ERF 18354
Portion number/s	Not Applicable

Surveyor General 21 digit code:

(If there are more than 4, please attach a list with the rest of the codes as **APPENDIX 6**. Where the 21-digit SGID and farm name are not available, the coordinates of the boundary of the property or properties must be provided in **APPENDIX 6**. Not Applicable – SC 21 digit code provided below

C	0	6	7	0	0	0	4	0	0	0	1	8	3	5	4	0	0	0	0	0
1	2	3	4	5	6	7	8	9	0	1	2	3	4	5	6	7	8	9	0	1

<p>Locality map: Refer to Appendix 7</p>	<p>A locality map must be attached to the application form, as APPENDIX 7. The scale of the locality map must be at least 1:50 000. For linear activities of more than 25 kilometres, a smaller scale e.g. 1:250 000 can be used. The scale must be indicated on the map. The map must include the following:</p> <ul style="list-style-type: none"> an accurate indication of the project site position as well as the positions of the alternative sites, if any; road names or numbers of all the major roads as well as the roads that provide access to the site(s) a north arrow; a legend; the prevailing wind direction; site sensitivities, including but not limited to vegetation, wetlands, watercourses, heritage sites, critical biodiversity area/s, World Heritage Site, etc. and it must be overlaid by the study area; and GPS co-ordinates (Indicate the position of the proposed activity with the latitude and longitude at the centre point for each alternative site. The co-ordinates should be in degrees and decimal minutes. The minutes should be to at least three decimal places. The projection that must be used in all cases is the WGS-84 spheroid in a national or local projection)
<p>Project Plan (e.g. Gantt chart) Refer to Appendix 8</p>	<p>A project schedule must be submitted as APPENDIX 8, and must include milestones for:</p> <ul style="list-style-type: none"> public participation (dates for advertisements, workshops and other meetings, obtaining comment from organs of state including state departments); the commencement of parallel application processes required in terms of other statutes and where relevant, the alignment of these application processes with the EIA process; the submission of the key documents (e.g. Basic Assessment Report, Scoping Reports, EIA Reports and Environmental Management Programmes). <p>Note: All the above dates must take into account the statutory timeframes for authority responses that are stipulated in the 2014 NEMA EIA Regulations. Possible appeals may impact on project timeframes/milestones. Regulation 45 states that “An application in terms of these Regulations lapses, and a competent authority will deem the application as having lapsed, if the applicant fails to meet any of the time-frames prescribed in terms of these Regulations, unless extension has been granted in terms of regulation 3(7).” It is recommended that the Department be approached for guidance on the process to be followed, prior to submitting an application.</p>

7. ACTIVITIES APPLIED FOR

For an application for authorisation that involves more than one listed activity that, together, make up one development proposal, all the listed activities pertaining to this application must be provided below.

Activity No(s):	Provide the relevant Basic Assessment Activity(ies) as set out in Listing Notice 1 of the EIA Regulations, 2014 as amended	Describe the portion of the proposed project to which the applicable listed activity relates.
31	<p>The decommissioning of existing facilities, structures or infrastructure for</p> <ul style="list-style-type: none"> (i) any development and related operation activity or activities listed in this Notice, Listing Notice 2 of 2014 or Listing Notice 3 of 2014; (ii) any expansion and related operation activity or activities listed in this Notice, Listing Notice 2 of 2014 or Listing Notice 3 of 2014; (iii) any phased activity or activities for development and related operation activity or expansion or related operation activities listed in this Notice or Listing Notice 3 of 2014; or (iv) any activity regardless the time the activity was commenced with, where such activity: <ul style="list-style-type: none"> a. is similarly listed to an activity in (i) or (ii) above; and b. is still in operation or development is still in progress; <p>excluding where—</p> <ul style="list-style-type: none"> (aa) activity 22 of this notice applies; or (bb) the decommissioning is covered by part 8 of the National Environmental Management: Waste Act, 2008 (Act No. 59 of 2008) in which case the National Environmental Management: Waste Act, 2008 applies. 	<p>The decommissioning and permanent capping the site of a facility for a waste management activity. The land was previously used to dispose of hazardous waste. Triggering this Listed Activity requires a Basic Assessment process to apply for a Waste Management License.</p> <p>It should be noted that DFFE has confirmed that a Part 8 of the NEM:WA does not apply to the proposed capping and redevelopment (pers comms, M. Govender, DEFF, 24/08/2020). Should Part 8 be triggered, then this Listed Activity would not be triggered as decommissioning covered by Part 8 of the NEM: WA is listed as an exclusion under this Listed Activity. Formal confirmation is therefore requested from DEFF that Part 8 of the NEM: WA is not triggered.</p>
Activity No(s):	Provide the relevant Scoping and EIA Activity(ies) as set out in Listing Notice 2 of the EIA Regulations, 2014 as amended	Describe the portion of the proposed project to which the applicable listed activity relates.
Not Applicable		
Activity No(s):	Provide the relevant Basic Assessment Activity(ies) as set out in Listing Notice 3 of the EIA Regulations, 2014 as amended	Describe the portion of the proposed project to which the applicable listed activity relates.
12	The clearance of an area of 300 square metres or more of indigenous vegetation except where such clearance of indigenous vegetation is required for maintenance purposes undertaken in accordance with a maintenance management plan.	Clearance of approximately 1,800 m ² of Critically Endangered Cape Flats Sand Fynbos is triggered. Triggering this Listed Activity requires a Basic Assessment process to apply for Environmental Authorisation

Note that, while **Listed Activity 19 of Listing Notice 1** of the EIA Regulations, 2014 (as amended) was contemplated, and it is proposed that this activity is **not triggered**, because a stormwater pond is not a

watercourse and is a man-made structure. This has been confirmed by the DWS in their comment on the previous Basic Assessment process. There are no watercourses on the site.

Furthermore, with respect to the proposed upgrade of the Okavango Road/Old Paarl Road intersection, **Listed Activity 56 of Listing Notice 1** related to road widening were considered by the EAP but is **not triggered** given the urban context which is an exclusion of this activity.

With regards to **Listed Activity 4 & 18 of Listing Notice 3**, road widening would mostly remain within an existing road reserve (apart from a section on Okavango Road which will encroach into a property appropriately zoned for Transport use) and there would be no widening into Public Open Space. There are also not environmentally sensitive areas or areas zoned for conservation use along the road where widening would take place. As such these activities are **not triggered**. Given the above, the proposed upgrading of this intersection is not further contemplated in this application

Please note that any authorisation that may result from this application will only cover activities specifically applied for. Only those activities listed above shall be considered for authorisation. The onus is on the applicant to ensure that all applicable listed activities are included in the application. Environmental Authorisation must be obtained prior to commencement with each applicable listed activity.

Coordinate points indicating the location of each listed activity must be provided as part of **APPENDIX 6** as well part of the reports to be submitted. Coordinates must be provided in degrees, minutes and seconds using the Hartebeesthoek94 WGS84 co-ordinate system.

8. PUBLIC PARTICIPATION

Provide details of the public participation process proposed for the application as required by Regulation 41(2) of the EIA Regulations, 2014 as amended.

A Public Participation Process (PPP) Plan was submitted to the Department on 8 December 2021. Approval for the PPP Plan has been received (refer to Appendix 1a).

The public participation process for this application will fulfil the requirements outlined in the EIA Regulations, 2014 (as amended) and has taken into account any applicable guidelines published in terms of Section 24J of NEMA, namely the Public Participation Guidelines of 2013 and 2017.

A preliminary database of Interested and Affected Parties (I&APs) has been compiled based on the previous process undertaken for this site in 2013 and additional research was undertaken through a site visit which the EAP also noted surrounding business names, as well as some research thereon online for updated contact information of local businesses as well as ward councillors and other state departments and relevant contact officials/representatives. Further registrations submitted during the public review of this Basic Assessment Report will be added to the I&AP database.

The Basic Assessment Report has also been drafted to address I&AP comments raised previously and a summary of how these issues have been included in the report. **Error! Reference source not found..** The following public participation activities will be undertaken in compliance with the EIA Regulations, 2014 (as amended):

- Fixing a notice board at the site entrance in English & Afrikaans;
- Written notice will be provided in the form of a knock-and-drop exercise and email notification to indicate the availability of the report;
- Written notice will be provided to the municipal councillor of the ward in which the site is located to indicate the availability of the report;
- Written notice will be provided to the local and district municipalities in which the site is located to indicate the availability of the report;
- Written notice will be provided to organs of state having jurisdiction in respect of any aspect of the activity to indicate the availability of the report;
- Placement of an advertisement in Die Burger (a regional newspaper) and Die Tygerburger (a local newspaper), one of which in English and the other in Afrikaans;

The draft Basic Assessment Report will undergo public review, for a period of 30 days following submission of this application. Proof of all public participation activities undertaken will be included in the final BAR.

Comments received during the public review process will also be incorporated into the final BAR for submission to DFFE for their decision-making. Following the issue of DFFE's decision, registered I&APs would be notified of the outcome, reasons for decision and opportunity to appeal.

The following State departments/organs of State will be notified of the availability of the Basic Assessment Report for comment:

- **Department: Forestry, Fisheries, and the Environment: Chemicals & Waste Management: Chief Directorate,** Mishelle Govender (migovender@environment.gov.za);
- **Department of Labour**
 - Bumani Maswanzanze (bumani.maswanzanze@labour.gov.za), 20 Charl Malan Street, 1st Floor, Middestad mall, Bellville, 7535, Tel: 0219412081
 - Mingie Zibi (mingie.zibi@labour.gov.za), 22 Parade Street, Thomas Boydell Building, Cape Town, 8000, Cell: 0826970693
- **Department of Water & Sanitation,** Wilna Kloppers (wilna@dwaf.gov.za), Private Bag X16, Sanlamhof, 7532, Tel: 021 950 7141, Cell: 0828076191
- **Western Cape Department of Economic Development & Tourism**
 - M Lakay Fourie (MLakay@pgwc.gov.za), P.O. Box 979, Cape Town, 8000, Tel: 0214838688
 - Fayruz Dharsey (fayruz.dharsey@westerncape.gov.za), 80 St George's Mall, Waldorf Building, 10th Floor, Cape Town, 8000, Tel: 021 483 5708, Cell: 0865650914
- **CCT: Northern Sub Environmental Health: Head of Department,** Reinhardt Avenant (Reinhardt.Avenant@capetown.gov.za), Paradys Street, Brackenfell, Tel: 021980 1342, Cell: 084 222 1472, Fax: 0219801369
- **Department of Community Safety,** Dr Gilbert Lawrence (Hod.Comsafe@pgwc.gov.za), 35 Wale street, Cape Town, 8000, Tel: 0214838688
- **Department of Forestry, Fisheries, and the Environment: Rectification**
 - Varsha Naidoo (VNaidoo@evironment.gov.za), 473 Steve Biko Road, Pretoria, 0002
 - Mr. C. Fredericks (CFredericks@environment.gov.za), 473 Steve Biko Road, Pretoria, 0002
- **DEA&DP: Pollution and Chemicals Management,** Mr. Simon Botha (Simon.Botha@westerncape.gov.za), 2nd Floor, Property Centre, 1 Dorp Street, Cape Town, Tel: 0214830752
- **DWS: Western Cape,** Derril Daniels (DanielsD@dws.gov.za)
- **DEA&DP Waste Management, Department of Environmental Affairs and Development Planning, Western Cape Government**
 - Eddie Hanekom (eddie.hanekom@westerncape.gov.za), 5th Floor, Property Centre, 3 Dorp Street, Cape Town, 8001, Tel: 021 483 2728
 - Lance McBain – Charles (Lance.McBain-Charles@westerncape.gov.za), 6 floor Property Centre, 3 Dorp Street, Cape Town, 8001, Tel: 021 483 2747, Fax: 021 483 4425, Cell: 073 185 9981

9. OTHER AUTHORISATIONS REQUIRED

Are there any other applications for Environmental Authorisation on the same property?		YES	NO
If YES, please indicate the following:			
Competent Authority			
Application — Reference Number			
Project Name			
Please provide details of the steps taken to ascertain this information:			

IF YES IS SELECTED, PLEASE ATTACH OTHER AUTHORISATIONS ISSUED.

Applications in terms of the National Environmental Management Act ("NEMA") & specific environmental management Acts ("SEMA's"):

LEGISLATION	AUTHORISATION REQUIRED		APPLICATION SUBMITTED	
Is Section 50(5) of the National Environmental Management: Protected Areas Act applicable to your proposed development? (The proposed development is within a proclaimed protected area as defined the Act.)	YES	NO	YES	NO

National Water Act (Act No. 36 of 1998)	YES	NO	YES	NO
National Environmental Management: Air Quality Act (Act No. 39 of 2004)	YES	NO	YES	NO
National Environmental Management: Biodiversity Act (Act No. 10 of 2004)	YES	NO	YES	NO
National Environmental Management: Integrated Coastal Management Act (Act No. 24 of 2008)	YES	NO	YES	NO
National Environmental Management: Protected Areas Act (Act No. 57 of 2003)	YES	NO	YES	NO
National Environmental Management: Waste Act (Act No. 59 of 2008) A parallel application will be made for the decommissioning and closure of the site in terms of the National Environmental Management: Waste Act 2008, (Act No.59 of 2008) ("NEM: WA"). The Listed Activity in this regard is Category A: Activity 14 : The decommissioning of a facility for a waste management activity in Category A or B to this schedule. The land was previously used to dispose of hazardous waste. Triggering this Listed Activity requires a Basic Assessment process to apply for a Waste Management License. Furthermore, in terms of the Section 20 Permit (Permit No. B33/2/720/154/P19) issued in terms of the Environmental Conservation Act (Act 73 of 1989), the holder is required to notify the Regional Director of closure and to submit final rehabilitation plans at least 60 days prior to the intended closure of the site.	YES	NO	YES	NO
Others: Please specify	YES	NO	YES	NO

Please be advised that:

- If a Waste Management license is required in terms of the National Environmental Management: Waste Act, please contact the Department for guidance on the **Integrated Permitting System**. **An IPS application can only be lodged with this Department in the event that this Department is the Competent Authority for both the EIA and Waste related activities;**
- If Sections 7B and 7C of the National Environmental Management: Integrated Coastal Management Act is applicable to your proposed development, you are required to obtain pre-approval for a reclamation application prior to an Application for Environmental Authorisation being lodged with the Competent Authority;
- If Section 50(5) of the National Environmental Management: Protected Areas Act is applicable to your proposed development, you are required to obtain approval from the Management Authority prior to an Application for Environmental Authorisation being lodged with the Competent Authority; and
- If Section 38 of the National Heritage Resources Act (Act No. 25 of 1999) is applicable to your proposed development, you are requested to submit the Notice of Intent form to the relevant SAHRA or a Provincial Heritage Resources Authority and attach a copy to this form. If it is indicated that a Heritage Impact Assessment will be required, the Heritage Impact Assessment must be undertaken as one of the specialist studies of the EIA process to be undertaken in terms of the NEMA EIA Regulations, 2014, as amended.

10. LIST OF APPENDICES

		SUBMITTED	
APPENDIX 1	Copy of the pre-application meeting minutes Not applicable as no meeting request was made	YES	NO
APPENDIX 1 a	PP Plan & Approval of Public Participation Plan	YES	NO
APPENDIX 2	Proof of Payment / Motivation for exclusion	YES	NO
APPENDIX 3	List of landowners (with contact details) and written consent of landowners. Not applicable as Applicant is landowner	YES	NO
APPENDIX 4	List of Local/Provincial Authority involved (with contact details) In body of application	YES	NO
APPENDIX 5	Strategic Infrastructure Projects Not applicable	YES	NO
APPENDIX 6	List of coordinates of Listed Activities Coordinate points of Listed Activities	YES	NO
APPENDIX 7	Locality map	YES	NO
APPENDIX 8	Project schedule	YES	NO
APPENDIX 9	Declaration of Applicant	YES	NO
APPENDIX 10	Declaration of EAP and undertaking under oath or affirmation	YES	NO
APPENDIX 11	Site Sensitivity Verification Report & Screening Tool Report	YES	NO
APPENDIX 12	Undertaking under Oath / Affirmation of EAP	YES	NO
APPENDIX 13	CV of the EAP	YES	NO
APPENDIX 14	Capping Strategy	YES	NO
APPENDIX 15	Site Development Plan	YES	NO

APPENDIX 1
COPY OF THE PRE-APPLICATION MEETING MINUTES

APPENDIX 2
PROOF OF PAYMENT/ MOTIVATION FOR EXCLUSION

**APPENDIX 3
LIST OF LAND OWNERS
WRITTEN CONSENT OF LAND OWNERS**

APPENDIX 4
LIST OF LOCAL/PROVINCIAL AUTHORITY INVOLVED

APPENDIX 5
STRATEGIC INFRASTRUCTURE PROJECTS

NOT APPLICABLE

NOT APPLICABLE

NOT APPLICABLE

NOT APPLICABLE

APPENDIX 6
LIST OF SGIDS / COORDINATES OF THE BOUNDARY OF THE PROPERTY OR PROPERTIES / COORDINATES
OF LISTED ACTIVITIES

**APPENDIX 7
LOCALITY MAP**

**APPENDIX 8
PROJECT SCHEDULE**

**APPENDIX 9
DECLARATION OF THE APPLICANT**

I, Primo Smit 0-8-0 Durobeck Company (Pty) LTD, declare that –

- I am, or represent¹, the applicant in this application;
- I have appointed an Environmental Assessment Practitioner (EAP) to act as the independent EAP for this application / have obtained exemption from the requirement to obtain an EAP²;
- I will take all reasonable steps to verify whether the EAP and specialist/s appointed are independent and have expertise in conducting environmental impact assessments or undertaking specialist work as required, including knowledge of the Act, the EIA Regulations and any guidelines that have relevance to the proposed activity;
- I will provide the EAP and the Competent Authority with access to all information at my disposal that is relevant to the application;
- I will be responsible for the costs incurred in complying with the Regulations, including but not limited to –
 - costs incurred in connection with the appointment of the EAP or any person contracted by the EAP;
 - costs incurred in respect of the undertaking of any process required in terms of the Regulations;
 - costs in respect of any fee prescribed by the Minister or MEC in respect of the Regulations;
 - costs in respect of specialist reviews, if the Competent Authority decides to recover costs; and
 - the provision of security to ensure compliance with conditions attached to an environmental authorisation, should it be required by the Competent Authority;
- I will inform all registered interested and affected parties of any suspension of the application as well as of any decisions taken by the Competent Authority in this regard;
- I am responsible for complying with the conditions of any environmental authorisation issued by the Competent Authority;
- I hereby indemnify the Government of the Republic of South Africa, the Competent Authority and all its officers, agents and employees, from any liability arising out of the content of any report, any procedure or any action which the applicant or EAP is responsible for in terms of these Regulations;
- I will not hold the Competent Authority responsible for any costs that may be incurred by the applicant in proceeding with an activity prior to obtaining an environmental authorisation or prior to an appeal being decided in terms of these Regulations;
- I will perform all obligations as expected from an applicant in terms of the Regulations;
- all the particulars furnished by me in this form are true and correct; and
- I am aware of what constitutes an offence in terms of Regulation 48 and that a person convicted of an offence in terms of Regulation 48(1) is liable to the penalties as contemplated in section 49B of the Act.
- I am aware that in terms of Section 24F of the National Environmental Management Act, as amended (Act No. 107 of 1998) that no listed activity may commence prior to an environmental authorisation being granted by the Competent Authority.

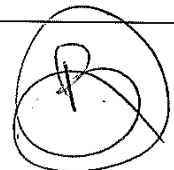
Signature³ of the applicant/ Signature on behalf of the applicant

Duro Beck Company (Pty) LTD

Name of company (if applicable)

2021 . 11 . 18 .

Date:



¹ If this is signed on behalf of the applicant, proof of such authority from the applicant must be attached. If the applicant is a juristic person, a signature on behalf of the applicant is required as well as proof of such authority.

² If exemption is obtained from appointing an EAP, the responsibilities of an EAP will automatically apply to the person conducting the environmental impact assessment in terms of the Regulations.

³ Only original signatures will be accepted. No scanned, copied or faxed signatures will be accepted. An EAP may not sign on behalf of an applicant.

**APPENDIX 10
DECLARATION OF THE EAP**

I, Claudette Muller, declare that –

- I act as the independent environmental assessment practitioner in this application;
- I have expertise in conducting environmental impact assessments, including knowledge of the Act, Regulations and any guidelines that have relevance to the proposed activity;
- I will comply with the Act, Regulations and all other applicable legislation;
- I will perform the work relating to the application in an objective manner, even if this results in views and findings that are not favourable to the applicant;
- I will take into account, to the extent possible, the matters listed in Regulation 13 of the Regulations when preparing the application and any report relating to the application;
- I undertake to disclose to the applicant and the Competent Authority all material information in my possession that reasonably has or may have the potential of influencing - any decision to be taken with respect to the application by the Competent Authority; and - the objectivity of any report, plan or document to be prepared by myself for submission to the Competent Authority, unless access to that information is protected by law, in which case it will be indicated that such information exists and will be provided to the Competent Authority;
- I will perform all obligations as expected from an environmental assessment practitioner in terms of the Regulations; and
- I am aware of what constitutes an offence in terms of Regulation 48 and that a person convicted of an offence in terms of Regulation 48(1) is liable to the penalties as contemplated in Section 49B of the Act.

Disclosure of Vested Interest (delete whichever is not applicable)

- I do not have and will not have any vested interest (either business, financial, personal or other) in the proposed activity proceeding other than remuneration for work performed in terms of the Regulations;
- ~~I have a vested interest in the proposed activity proceeding, such vested interest being:~~

NOT APPLICABLE


Signature of the environmental assessment practitioner


Chand Environmental Consultants cc
Name of company:

7/12/2021
Date

APPENDIX 11
SCREENING TOOL REPORT


APPENDIX 12
UNDERTAKING UNDER OATH/ AFFIRMATION

I, Claudette Muller, swear under oath / affirm that all the information submitted or to be submitted for the purposes of this application is true and correct.


Signature of the Environmental Assessment Practitioner

Chand Environmental Consultants
Name of Company

7/12/2021
Date

 Farline Miller
Signature of the Commissioner of Oaths

2021.12.07
Date



LIST OF APPENDICES

Appendix 1: Copy of the pre-application meeting minutes – **Not Applicable as no meeting request was made**

a) Approval of Public Participation Plan

Appendix 2: Proof of Payment

Appendix 3: List of landowners (with contact details) and written consent of landowners - **Not Applicable as Applicant is landowner**

Appendix 4: List of Local/Provincial Authority involved (with contact details) – **in body of application**

Appendix 5: Strategic Infrastructure Projects - **Not Applicable**

Appendix 6: Coordinate points of Listed Activities

Appendix 7: Locality Map

Appendix 8: Project Schedule

Appendix 9: Declaration of Applicant

Appendix 10: Declaration of EAP

Appendix 11: Site Sensitivity Verification Report and Screening Tool Report

Appendix 12: Undertaking under Oath / Affirmation

Appendix 13: CV of the EAP

Appendix 14: Capping strategy

Appendix 15: Site Development Plan

APPENDIX 1

Copy of the pre-application meeting minutes – **Not Applicable as no meeting request was made**

2021-12-0005 - Message (HTML)

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Delete Reply Reply All Forward Mark Unread Find Zoom

Save Undo Redo Previous Item Next Item Edit Message

2021-12-0005

EIA Applications <EIAApplications@dfre.gov.za>
To: Samkelisiwe Dlamini
Cc: Masina Litsoane; Info
Thu 2021/12/09 11:51

You replied to this message on 2021/12/09 12:01.

april2021application_meetingrequest 9Dec2021 w app.pdf .pdf File
Everite PPP Plan_06Dec2021 w app.pdf .pdf File
2021-12-0005 DB Output.pdf .pdf File

From: Info [mailto:info@chand.co.za]
Sent: Thursday, 09 December 2021 10:37
To: EIA Applications <EIAApplications@dfre.gov.za>
Subject: Request for a pre-application meeting

Good day ,

Please find attached:

- 1) A completed pre-application meeting request form; and
- 2) A Public Participation Plan for the proposal referenced in the subject line.

Kindly note that a pre-application meeting is **not** requested. The form has only been completed to ensure compliance with the DFFE processes.

We await approval of the PPP Plan. The application for Environmental Authorisation and Waste Management Licence have been prepared and are ready for submission.

2021-12-0005 - Message (HTML)

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2021-12-0005

EIA Applications <EIAApplications@dfre.gov.za>
To: Samkelisiwe Dlamini
Cc: Masina Litsoane; Info
Thu 2021/12/09 11:51

You replied to this message on 2021/12/09 12:01.

april2021application_meetingrequest 9Dec2021 w app.pdf .pdf File
Everite PPP Plan_06Dec2021 w app.pdf .pdf File
2021-12-0005 DB Output.pdf .pdf File

Please find attached:

- 1) A completed pre-application meeting request form; and
- 2) A Public Participation Plan for the proposal referenced in the subject line.

Kindly note that a pre-application meeting is **not** requested. The form has only been completed to ensure compliance with the DFFE processes.

We await approval of the PPP Plan. The application for Environmental Authorisation and Waste Management Licence have been prepared and are ready for submission.

Kindly also note that detail correspondence on this application (dating back to August 2020) has been with Ms. Mishelle Govender [mailto:MiGovender@environment.gov.za]

Kind regards,
Laila Senaturo (Administrator)
Chand Environmental Consultants
P O Box 238
Plumstead
7801

2021-12-0005 - Message (HTML)

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Save Undo Redo Previous Item Next Item Edit Message

2021-12-0005

EIA Applications <EIAApplications@dfre.gov.za>

To Samkelisiwe Dlamini
Cc Masina Litsoane; Info

Thu 2021/12/09 11:51

You replied to this message on 2021/12/09 12:01.

april2021application_meetingrequest 9Dec2021 w app.pdf .pdf File

Everite PPP Plan_06Dec2021 w app.pdf .pdf File

2021-12-0005 DB Output.pdf .pdf File

Dear Samkelisiwe.

Please note that you have been allocated an application:

Type of Application: Pre-Application Meeting Request;
Reference Number: 2021-12-0005;
Date Received: 09/12/2021;
Action Required: Decide on meeting request.

Kindly let Ephron know which date the meeting is to be held, if it will be set.

*EAP/Applicant: please use this reference number when submitting the application for EA/amendment application (page 1 of the application form), as well as attach the approved PP Plan if the application requires a PP process.

RE: 2021-12-0005 - Message (HTML)

File Message Help PDFsam Enhanced 6 Creator Tell me what you want to do

Delete Reply Reply All Forward Mark Unread Find Zoom

Save Undo Redo Previous Item Next Item Edit Message

RE: 2021-12-0005

Samkelisiwe Dlamini <SDLAMINI@dfre.gov.za>

To Info
Cc Masina Litsoane

Mon 2021/12/13 09:31

From: Info
Sent: Thursday, 09 December 2021 12:02
To: EIA Applications <EIAApplications@dfre.gov.za>; Samkelisiwe Dlamini <SDLAMINI@dfre.gov.za>
Cc: Masina Litsoane <MLITSOANE@dfre.gov.za>
Subject: RE: 2021-12-0005
Importance: High

Dear Samkelisiwe and Masina,

Thank you for your email below.

Please kindly note, as noted below in my email *Kindly note that a pre-application meeting is **not** requested. The form has only been completed to ensure compliance with the DFFE processes"*

Please advise if the below can be taken as approval of the PPP Plan and if I may continue to submit the EA application on the portal as I have already requested a password and have received it.

Kind regards,
Laila Senaturo (Administrator)
Chand Environmental Consultants
P O Box 238
Plumstead
7801
Tel: (021) 762 2050

APPENDIX 1 a

Approval of public participation plan

PUBLIC PARTICIPATION PROCESS PLAN: THE PROPOSED DECOMMISSIONING OF THE EVERITE ASBESTOS SITE, ERF 18354, BRACKENFELL

12/7/2021

Environmental Application for a Waste
Management License

Prepared by:
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Prepared for:
Duro Brick Company (Pty) Ltd
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Appendix A Preliminary IA&P Database

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Acronyms and Abbreviations

BA	Basic Assessment
BAR	Basic Assessment Report
BID	Background Information Document
DBAR	Draft Basic Assessment Report
DFFE	Department of Forestry and Fisheries and Environment
DEA&DP	Department of Environmental Affairs and Development Planning
DHSWS	Department of Human Settlements, Water and Sanitation
EA	Environmental Authorisation
EAP	Environmental Assessment Practitioner
EIA	Environmental Impact Assessment
FBAR	Final Basic Assessment Report
HWC	Heritage Western Cape
I&AP	Interested and Affected Party
NEMWA	National Environmental Management Waste Act
NHRA	National Heritage Resources Act (No. 25 of 1999)
NOI	Notification of Intent
NWA	National Water Act (No. 36 of 1998)
PPP	Public Participation Process

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PUBLIC PARTICIPATION PROCESS PLAN: THE PROPOSED DECOMMISSIONING OF THE EVERITE ASBESTOS SITE, ERF 18354, BRACKENFELL

ENVIRONMENTAL APPLICATION FOR A WASTE MANAGEMENT LICENSE

1. INTRODUCTION

Duro Brick Company (Pty) Ltd ("Duro Brick") intends to decommission an asbestos site (Erf 18354, Brackenfell – refer to Figure 1) in the form of permanent capping, with further development of a light industrial park thereon.

The proposal triggers Activity 14 of Category A of the National Environmental Management Waste Act (NEMWA) Listed Activities for the closure of a facility/site which contains hazardous waste (i.e. this requires a Waste Management License) and it triggers Listed Activity 31 of Listing Notice 1 of the EIA Regulations, 2014 (as amended) for the formal decommissioning of the site. The proposal also triggers Listed Activity 12 of Listing Notice 2 of the EIA Regulations, 2014 for indigenous vegetation clearing of a Critically Endangered vegetation type.

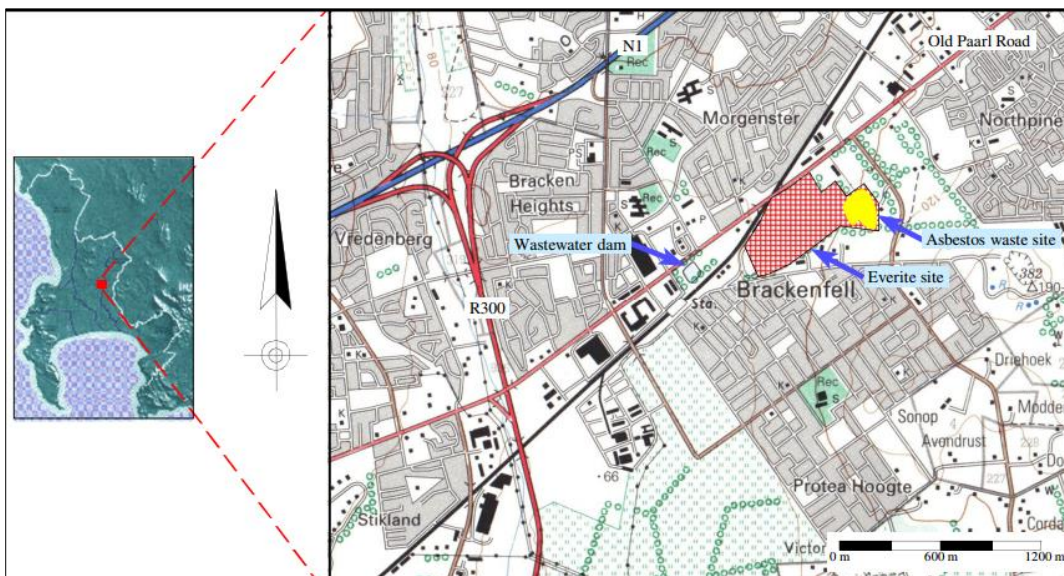


FIGURE 1: LOCALITY MAP OF THE EVERITE SITE IN BRACKENFELL, INDICATING THE POSITION OF THE WASTEWATER DAM AND THE ASBESTOS WASTE SITE (THE ASBESTOS WASTE SITE IS THE SUBJECT OF THIS APPLICATION)

The Department of Forestry and Fisheries and Environment (DFFE) published revised EIA Directions for conducting EIAs and other permitting processes under the National State of Disaster and association lockdown conditions (i.e. the “revised EIA Directions”).

This Public Participation Process (PPP) Plan is therefore submitted to the DFFE for their feedback and advice.

2. ASSUMPTIONS AND LIMITATIONS

This report has been compiled with the following assumptions and limitations:

- This PPP Plan has been devised at the beginning of an EA process and, although certain issues and Interested and Affected Parties (I&APs) can be predicted, others will emerge through the process which may necessitate departure from this PPP Plan. Those departures would, however, be discussed with the DFFE prior to implementation and would relate to additional activities beyond those required in terms of Regulation 41 of the EIA Regulations, 2014 (as amended).
- Additional engagement or meetings with certain I&APs or groups thereof may be required, however this would come to light through the process. Should any meetings be necessary, these would be done via video conference for as long as lockdown persists, or a site meeting with any authorities where any social distancing requirements applicable at the time would be observed (this would likely entail wearing of face masks, sanitising hands on site with a sanitizer that is 80% alcohol or more and maintaining a physical distance of 1.5 m between people).
- In all instances where postage is proposed, this is proposed to occur via *regular* postal services/mail and not registered post. Chand does not believe it is prudent to require people to queue in a post office to collect registered mail during a global pandemic where government is urging citizens to stay home as much as possible and to strictly adhere to social distancing. Furthermore, in the City of Cape Town, regular mail is usually delivered to homes.
- It is assumed that I&APs who live or own property in Brackenfell would be accessible via email and post and would have access to internet and easily be able to receive notifications via email and download documents from Chand's website. It is also assumed that all relevant State Departments can receive emails and documents for download.
- It is assumed postage can occur under all Alert Levels apart from Level 4.

3. PREVIOUS BASIC ASSESSMENT PROCESS & COMMENTS RECEIVED

A previous Basic Assessment (BA) process for the site and closure thereof was undertaken in 2013, but the application lapsed, hence the need to re-initiate it through a new process (i.e. this Environmental Application and Basic Assessment process). Previous public engagement was undertaken during this process. The “new” BA process has addressed comments from Interested and Affected Parties (I&APs) (which include local residents, state departments, civic interest groups, etc.) received as part of the previous process undertaken in 2013. No outright objections to the proposal was received.

A summary of how these issues have been dealt with is included in the draft Basic Assessment Report (BAR) and is presented in Table 1. There are also text boxes throughout the draft BAR which refer to how these previous issues have been addressed. The text boxes look like this:

I&AP Comment addressed from previous process: [note on comment]

TABLE 1: SUMMARY OF COMMENTS RECEIVED DURING PREVIOUS BA PROCESS AND HOW THESE HAVE BEEN ADDRESSED BY THE PROPOSAL AND NEW ENVIRONMENTAL APPLICATION

No.	Issue	How the issue has been dealt with
1	Queries around the possibility of purchasing portions of the rehabilitated land.	Given the history of the site as a hazardous waste disposal facility, there are restrictions in place which prevents the sale of individual plots. The developer (Durobrick "(Pty) Ltd) is required to continue to manage the property as a whole. Individual erven would likely be rented to prospective tenants.
2	Support for the development.	This is merely noted and does not require further response.
3	Concerns relating to risk and safety with regards to the removal of asbestos waste.	It should be noted that the full body of asbestos would not be removed, and a site capping exercise would secure the site into the future. The proposed capping layerworks and re-development has been devised in such a way as to limit the amount of excavation required. Note, however, that in certain cases the removal of asbestos would be required and under those circumstances, a method statement will be drawn up for the handling and disposal of asbestos related waste would need to be compiled by the Contractor. This is specified in the EMPr. Furthermore, the EMPr has included mitigation measures from an Accredited Asbestos Inspection Authority.
4	Recommendations for the handling and disposal of asbestos waste and asbestos-contaminated land during the construction/decommissioning phase.	Recommendations have been included in the EMPr and provided by an Accredited Asbestos Inspection Authority.
5	Traffic and the need for a traffic impact assessment.	An updated Traffic Impact Assessment was done for this Basic Assessment process and has been included as an Appendix.
6	Recommendations/options for conservation of natural vegetation remnants.	Retention of the vegetation on the site is not possible, given the need to secure the site from existing mole activity bringing asbestos to the surface. The capping technique proposed is not compatible with the retaining of this portion of vegetation. Should development be approved, <i>Lampranthus explanatus</i> plants would be relocated to the nearby Bracken Nature Reserve and also be provided to specialists to create an ex-situ population, to provide the best option in terms of the likelihood of long term survival of these species and the population strain found on the site. This is explained as a requirement in the BAR and is also included in the EMPr.
7	Recommendations in terms of alien clearing and rehabilitation.	The EMPr includes measures for alien clearing and rehabilitation, particularly in terms of the landscape plan.
8	Stormwater management.	The proposed stormwater management is described in the project description and a draft stormwater management plan is appended to the Draft BAR.
9	Recommendations with regard to waste, pollution and dust management.	The EMPr includes measures to control waste, pollution and dust.

10	Process-related issues (regarding the Basic Assessment process being followed when there is hazardous waste).	The waste licence application is for the decommissioning of an existing waste site. The listed activities triggered and the need for a Basic Assessment process is explained in the draft BAR.
11	Confirmation from the DHSWS indicating that the stormwater retention pond is not considered a “watercourse” in terms of the National Water Act (No. 36 of 1998).	This has been noted in the Draft BAR. No further response is required.
12	Heritage: HWC confirmed that the NHRA does not apply as there is no reason to believe that the proposed development would impact on heritage resources.	This has been noted in the Draft BAR. No further response is required.
13	Comments received by I&APs mistaking the proposal for another proposed development in the area by the same developer (The Brackenfell Development Framework).	This is merely noted as a previous issue but does not pertain to this process, so no further response is necessary.

The public participation process undertaken thus far has been executed in accordance with legislated requirements. Furthermore, it is believed that planned public participation activities as outlined in this document would be appropriate and commensurate with the nature of the application. Given the nature of the comments received during public review of the Draft BAR in the previous Basic Assessment process (undertaken in 2013), additional public engagements over and above those required by legislation has not been deemed to be necessary.

The public participation process will fulfil the requirements outlined in the EIA Regulations, 2014 (as amended) and will take into account any applicable guidelines published in terms of Section 24J of NEMA, namely the Public Participation Guidelines of 2013 and 2017. The proposed pre-application and post-application PPP activities are outlined in the following sections.

4. PROPOSED PRE-APPLICATION PUBLIC PARTICIPATION ACTIVITIES

4.1 Identification of I&APs

A preliminary database of Interested and Affected Parties (I&APs) was compiled based on the previous process undertaken for the site in 2013 and additional research was undertaken through a site visit which the EAP also noted surrounding business names, as well as some research thereon online for updated contact information of local businesses as well as ward councillors and other state departments and relevant contact officials/representatives. Further registrations submitted during the public review of this Basic Assessment Report will be added to the I&AP database. The preliminary I&AP database is available in Appendix A.

The following parties as required in Regulation 41 (2) (b) of the EIA Regulations, 2014 (as amended) are included in the preliminary I&AP database:

- Owners and Occupiers of the site where the activity is to be undertaken (note however that there are no legal occupiers of the site, the applicant is the owner of the site and would need to obtain the WML for the closure of the site before being able to occupy it);
- Owners and Occupiers of the land adjacent to the site where the activity is to be undertaken (postal addresses and email address for adjacent landowners have been sourced. An email notification as well as a knock-and-drop exercise of the availability of the Draft BAR would be undertaken);
- The Municipal Ward Councillor and Sub-Council Manager (the latest contact information has been obtained from the City of Cape Town's website. Email notification of the availability of the Draft BAR report would be undertaken);
- Organs of the State having jurisdiction in respect of any aspect of the activity (these include City of Cape Town, Department of Water & Sanitation, Heritage Western Cape, Department of Environmental Affairs and Development Planning and CapeNature. Email notification of the availability of the Draft BAR would be undertaken); and
- Local Ratepayers' Associations (i.e. the Brackenfell Taxpayers Association and Brackenfell Ratepayers Association)
- Local Conservation Bodies (in this case the Bracken Nature Reserve and the Friends of the Bracken Nature Reserve).

The I&AP database from the previous BA process have been incorporated into the preliminary I&AP database.

The I&AP database would be updated as comments are received from I&APs during the BA process.

5. PROPOSED POST-APPLICATION PUBLIC PARTICIPATION ACTIVITIES

5.1 Public Review of Post-Application Draft Basic Assessment Report

Following submission of the EA Application, notification of the Post-Application draft BAR would be distributed to the preliminary I&AP database via email to the I&APs which have email addresses (this includes state departments) and via regular post to those who do not. No hardcopies would be delivered, as the documentation would be available for download, unless specifically requested by a state department (or reasonable request from an I&AP). The report itself would be made available for download from Chand's website. Notification of the availability of the Post-Application DBAR would also be done through the following:

- Distribution of a notification letter to the preliminary I&AP database (which includes parties required in terms of Regulation 41 (2) (b) of the EIA Regulations, 2014 (as amended)) via email to those who have email addresses and regular post to those who only have postal addresses;
- Placement of one notice board on the site where the proposed activities are to be undertaken on the site boundary (noting that contents and size would adhere to requirements of Regulations 41 (3) and (4) of the EIA Regulations, 2014 (as amended));
- Written notification via a mail-out and email to occupiers/owners adjacent to the boundary of the site (noting that the Applicant is the landowner and there are no legal occupiers of the site)

- Compilation and placement of an advertisement in Die Burger (a regional newspaper) and Die Tygerburger (a local newspaper), one of which will be in English and the other in Afrikaans (noting that contents would adhere to requirements of Regulation 41 (3) of the EIA Regulations, 2014 (as amended)).

The comment period for the draft BAR would be 30 days.

Registrations resulting from the Post-Application draft BAR distribution would be added to the I&AP Database and comments from the Post-Application draft BAR distribution would be included in an updated Comments and Response Report and Final Basic Assessment Report for submission to the DFFE.

Should the Post-Application draft BAR require substantive amendments as per S19(1)(b) of the EIA Regulations, 2014 (as amended), the updated draft BAR would be distributed to the Registered I&APs for a further 30 days.

5.2 Notification of DFFE Decision

Once the DFFE has reviewed the final BAR and issued their decision, the decision, date, reasons for decision, means to access the decision, and an explanation regarding the way the decision may be appealed, as well as any further requirements stipulated therein would be distributed to the I&AP database via email for those who have email addresses and post for those who have only postal addresses. It would also be uploaded onto Chand's website so it would be accessible for download. The applicable appeal period would be explained in accordance with that included in the decision.

6 CONCLUSION

The proposed PPP is summarised in Table 2 and indicates which activities that the proposed activities would meet minimum statutory requirement in terms of Regulation 41 of the EIA Regulations, 2014 (as amended). Public participation activities as outlined in this document are deemed appropriate and commensurate with the nature of the application. Given the nature of the comments received during public review of the draft BAR in the previous Basic Assessment process (undertaken in 2013), additional public engagements over and above those required by legislation has not been deemed to be necessary.

A project programme ("Gantt chart") is also included in Appendix B, which outlines the process and notes a period of 90 days from submission of the application for the submission of the final BAR to the DFFE.

TABLE 2: SUMMARY OF PROPOSED PPP PLAN RELATIVE TO STATUTORY REQUIREMENTS

PPP: Task/Activity	Regulatory Requirements
Compilation of Preliminary I&AP Database	X
Public Review of Post-Application draft BAR (30 days)- report would be available on Chand's website and notification would be send via email to the I&APs which have email addresses and via post to those who do not, site notice at site boundary, 2 x newspaper adverts, hardcopies only delivered to state departments if requested and to I&APs upon reasonable request	X
Notification of Decision to Registered I&APs via email, and post to those who do not have email addresses, decision would be uploaded to Chand's website	X



LIST OF APPENDICES

Appendix A: Preliminary IA&P Database

Appendix B: Project Programme

APPENDIX A

Preliminary IA&P Database

NAME	SURNAME	ORGANISATION	DESIGNATION	ADDRESS 1	ADDRESS 2	TOWN	CODE	TELEPHONE NUMBER	FAX NUMBER	CELL NUMBER	EMAIL ADDRESS	EMAIL ADDRESS
STATE DEPARTMENTS - DEADP												
Eddie	Hanekom	DEADP: Waste Management, Department of Environmental Affairs and Development Planning, Western Cape Government	Director	5th Floor, Property Centre, 3 Dorp Street		Cape Town	8001	021 4832728	021 4834425		eddie.hanekom@westerncape.gov.za	
Lance	McBain - Charles	Waste Management, Department: Environmental Affairs and Development Planning	Directorate	4 floor Property Centre, 3 Dorp Street		Cape Town	8001	021 483 2747	021 483 4425	073 185 9981	Lance.McBain.Charles@westerncape.gov.za	
Wina	Kloppers	DEADP: Contact for NEMWA Part 8 General actions									Wina.Kloppers@westerncape.gov.za	
Simon	Butha	DEADP: Pollution and Chemicals Management		2nd Floor, Property Centre, 1 Dorp Street		Cape Town		0214830752			Simon.Butha@westerncape.gov.za	
Ongelwe	Ndileyana	DEADP: Waste Management		1 Dorp Street, Cape Town, 8001							Ongelwe.Ndileyana@westerncape.gov.za	
Zoyed	Brown	DEADP: Pollution Monitoring and Information Management						021-4838367			Zoyed.Brown@westerncape.gov.za	
Anthony	van Wyk	DEADP: Pollution Monitoring and Information Management			Private Bag X9086, Cape Town, 8001			021 483 2980			at@paw.vanwyk@westerncape.gov.za	
Catherine	Bill	DEADP: Pollution Pollution Management		Registry Office, 1st Floor Utilities Building, 1 Dorp Street, Cape Town, 8000				0214832740			catherine.bill@westerncape.gov.za	
Joy	Leamer	DEADP: Air Quality			Private Bag, X9086, Cape Town, 8000			(021) 483 2798			Joy.Leamer@westerncape.gov.za	
Elienne	Roux	DEADP: Waste Management		1 Dorp Street, Cape Town, 8001				0214838378			Elienne.Roux@westerncape.gov.za	
Pieter	Van Zyl	Department of Environmental Affairs and Development Planning: Development Planning	Head of Department	8th Floor, Room 8-07, 1 Dorp Street, Cape Town, 8000	Private Bag X9086, Cape Town, 8000	Cape Town	8000	0214834091			Pieter.vanzyl@westerncape.gov.za	
Masivale	Langa	Development Planning: Pollution Management				Cape Town	8001				Masivale.Langa@westerncape.gov.za	
Arabel	McClelland	DEADP: Pollution Management, Pollution and Chemicals Management	Sub-Directorate	1 Dorp Street		Cape Town	8000	021 483 2160			arabel.mcclelland@westerncape.gov.za	
Elienne	Roux	Department of Environmental Affairs and Development Planning: Waste Management	Specialised Environmental Officer: Waste Management Licensing	6th Floor, Property Centre, 3 Dorp Street, Cape Town		Cape Town	8001	021 483 8378			Elienne.Roux@westerncape.co.za	
Colfieb	Arendse	Department of Environmental Affairs and Development Planning: Pollution Management						021 950 7100			colfieb@pawes.gov.za	
Belinda	Langenhoven	Department of Environmental Affairs and Development Planning: Waste Management									Belinda.Langenhoven@westerncape.gov.za	
Evadla	Bongobong	Department of Environmental Affairs & Development Planning: Waste Management									Evadla.Bongobong@westerncape.gov.za	
Mariene	Laras	DEADP: Biodiversity Management									Mariene.Laras@westerncape.gov.za	
STATE DEPARTMENTS - CITY OF CAPE TOWN												
Debbie	Evans	City of Cape Town Municipality: Environment and Heritage Management:									debbie.evans@capetown.gov.za	
Momé	Theron	City of Cape Town: Environmental & Heritage Management: Acting Head Northern Region								084 222 1410	Mome.Theron@capetown.gov.za	
Reinhardt	Avenant	CCT: Northern Sub Environmental Health: Head of Department		Paradys Street		Brackenfell		021980 1342	0219801369	084 222 1472	Reinhardt.Avenant@capetown.gov.za	
Brendan	Abrahams	City of Cape Town	District Roads Engineer Biodiversity Management Branch	3rd Floor, Media City	c/o Heerengracht and Vasco da Gama Boulevard	Cape Town	8001				BrendanMorton.Abrahams@capetown.gov.za	
Clifford	Dose	City of Cape Town									clifford.dose@capetown.gov.za	
Clare	Hedderess	City of Cape Town	Systems Planning and Modelling	Cape Town Civic Centre	Herzog Boulevard	Cape Town	8001	021 400 9136		082 829 3306	clare.hedderess@capetown.gov.za	
Crispin	Barell	City of Cape Town	Spatial Planning and Environment Directorate	Ground Floor, Plumstead Municipal Offices, 3 Victoria Road, Plumstead		Plumstead	7801	0214442613			crispin.barell@capetown.gov.za	
Rushood	Shomosi	City of Cape Town	Spatial Planning and Environment Directorate								Rushood.Shomosi@capetown.gov.za	
Dean	Manuel	City of Cape Town	Traffic Engineer (Central Region)	3rd Floor, Media City	c/o Heerengracht and Vasco da Gama Boulevard	Cape Town	8001	0214006537	0842080372		Dean.Manuel@capetown.gov.za	
John	Meyer	City of Cape Town	Project Planning and Conceptual Design	Cape Town Civic Centre		Cape Town	8001		083 457 3001		JohnG.Meyer@capetown.gov.za	
John	Spotten	City of Cape Town	Systems Planning and Modelling	Cape Town Civic Centre	Herzog Boulevard	Cape Town	8001	021 400 9132		084 231 4457	John.Spotten@capetown.gov.za	
Julia	Woods	City of Cape Town	Biodiversity Management Branch	PO Box 11	Maitland		7405	021 514 4155			julia.woods@capetown.gov.za	
Marissa	Adams	City of Cape Town	Director Transport: Road Infrastructure & Management: District Roads Engineer	3rd Floor, Media City	c/o Heerengracht and Vasco da Gama Boulevard	Cape Town	8001	021 400 9136		083 271 4399	Marissa.Adams@capetown.gov.za	
Mark	Pinder	City of Cape Town	Project Planning and Conceptual Design	Cape Town Civic Centre	Herzog Boulevard	Cape Town	8001	021 400 4918		083 271 4399	mark.pinder@capetown.gov.za	
Mandisi Sidwe	Sokoto	City of Cape Town	Catchment Stormwater and River Management – Water and Sanitation								Mandisi.Sidwe@capetown.gov.za	
Ben	De Wet	City of Cape Town	Catchment Stormwater and River Management – Water and Sanitation								Ben.DeWet@capetown.gov.za	
Rene	Muller	City of Cape Town	Department of Environmental Affairs & Development Planning: Waste Management			Cape Town	8001	0214833581			Rene.Muller@westerncape.gov.za	
Simone	Bergoff	City of Cape Town: Urban Planning & Design	Senior Professional Officer: Urban Designer								Simone.Bergoff@capetown.gov.za	
Ronelle	Clarke	City of Cape Town		2nd Floor, Media City Building, Cnr Herzog / Heerengracht Boulevard		Cape Town	8000				ronelle.clarke@capetown.gov.za	
Nousheena	Parker	City of Cape Town		2nd Floor, Media City Building, Cnr Herzog / Heerengracht Boulevard		Cape Town	8000				nousheena.parker@capetown.gov.za	
Zolile	Boshaho	City of Cape Town: Water & Sanitation Department: Technical Services						0214443672			zolile.boshaho@capetown.gov.za	
Andre	Bester	City of Cape Town: Senior Engineering Technician		Private bag X5		Plumstead	7801	0217108030			Andre.Bester@capetown.gov.za	
Andrew	Greenwood	City of Cape Town: Municipal Representative									Andrew.Greenwood@capetown.gov.za	
Jaco	De Bruyn	City of Cape Town						0214441419			jaco.debruyn@capetown.gov.za	
Cynthia	Minor	City of Cape Town: Recreation and Parks									Cynthia.Minor@capetown.gov.za	
Dimriti	Georgiades	City of Cape Town: Manager: Environment & Heritage Management		2nd Floor, Media City Building c/o Heerengracht & Herzog Boulevard		Cape Town	8000	021 4006518	021 4254448		dimriti.georgiades@capetown.gov.za	
Juliet	Leslie	City of Cape Town: Town Planning		2nd Floor, Media City Building, Herzog Boulevard		Cape Town	8000	0214006450			juliet.leslie@capetown.gov.za	
Bonginkosi	Mojavu	City of Cape Town: Energy climate change Directorate		P O BOX 82 CAPE TOWN 8000	BREE STREET CAPE TOWN 8001	Cape Town	8001				bonginkosi.mojavu@capetown.gov.za	
STATE DEPARTMENTS - OTHER STATE DEPARTMENTS												
Bumani	Mawanzare	Dept of Labour		20 Chalfon Street, 1st Floor	Middlestad mall	Belville	7535	0219412081			bumani.mawanzare@labour.gov.za	
Warren	Dreyer	Department of Water & Sanitation		Private Bag X16	52 Spectrum Building, Voortrekker Road, Bellville, 7532	Sariemhof	7535	021 941 6185		082 600 8484	DreyerW@dws.gov.za	
Annette	Gerbema	Department of Agriculture, Forestry & Fisheries (DAFF)									Annette@daff.gov.za	
Harry	Thompson	Department of Transport and Public Works WCG		PO Box 2603, Cape Town 8000	9 Dorp Street, Cape Town 8001	Cape Town	8000	0214834669	0214832166	073 263 4864	Harry.Thompson@westerncape.gov.za	
Barend	du Preez	Western Cape Department of Transport and Public Works		PO Box 2603	9 Dorp Street, Cape Town, 8001	Cape Town	8000	021- 553 4167	5327	083 701 2299	barend@urgencia.co.za	
Jacqui	Goach	Western Cape Department of Transport and Public Works	Head of Department	PO Box 2603	Private Bag X9185, Cape Town, 8000	Cape Town	8000	0860 212 414			HOD.TransportPublicWorks@westerncape.gov.za	
Malcolm	Walters	Western Cape Department of Transport & Public Works		PO Box 2603		Cape Town	8000				Malcolm.Walters@westerncape.gov.za	
Maggie	Sebopetha	Western Cape Government: DoA	Head of Department	Private Bag X1 Buerbaag 7407	Admin Building, Muldersvlei Road, Buerbaag			021 808 5005	021 808 5000		MSC@seaburg.com	info@seaburg.com
Phila	Moyisi	Western Cape Government: DAH	Head of Department	27 Water Street, Cape Town, 8001	Private Bag X9083, Cape Town, 8000			021 483 2854			Phila.Moyisi@westerncape.gov.za	
Kaith	Cloete	Western Cape Government: DAH	Head of Department	Koorn 10508, 4 Dorp Street, Cape Town, 8000	PO Box 2080, Cape Town, 8000						Kaith.Cloete@westerncape.gov.za	
Devlin	Forlin	Transport and Public Works: Western Cape Government		9 Dorp Street P.O. Box 37, Constantia, 7848	Private Bag X9185, Cape Town 8000	Cape Town	8001	0214832012	0214832205		devlin.forlin@westerncape.gov.za	
Mike	Soyen	SANParks		Private Bag 77, Claremont, 7735	Constantia		7848	021-701 0527			michaels@sanparks.org	
Elton	Le Roux	South African National Biodiversity Institute (SANBI)			Claremont		7735	021-799 8800			EL.le Roux@sanbi.org.za	info@sanbi.gov.za
Shephane	Barnard	Heritage Western Cape	Heritage Officer (Archaeologist)	3rd Floor, Protea Assurance Building, Green Market Square		Cape Town	8001				Shephane.Barnard@westerncape.gov.za	
Shirah	Singh	National Department of Water and Sanitation		52 Voortrekker Road		Belville	7535	(021) 941 6140		0837546529	Shirah@dw.gov.za	
Marisa	Albert	National Department of Water and Sanitation									Albert@dw.gov.za	
Danyel	Colenbrander	National Department of Environment, Forestry, and Fisheries (DFFE): Biodiversity and Conservation						021 487 2355		082 312 3445	Danyel.Colenbrander@capetown.gov.za	
Solly	Faurie	Department of Economic Development and Tourism	Deputy Director	80 St George's Mall		Cape Town	8001	021 4834717	021 4834892		sollyfaurie@westerncape.gov.za	
Mirage	Zizi	Dept of Labour		22 Parade Street, Thomas Baydell Building		Cape Town	8000			0826970693	mirage.zizi@labour.gov.za	
Wina	Kloppers	DWA		Private Bag X16		Sariemhof	7535	021 950 7141		0828076191	Wina@dw.gov.za	
Sipiso	Kangwa	DWA		Private Bag X16		Sariemhof	7532	0219416234			Sipiso@dw.gov.za	
Bulekwa	Milondana	DWA		Private Bag X16		Sariemhof	7532	0219416136			bulekwa@dw.gov.za	
Nesiba	Nobani	Department of Water and Sanitation (DWS)									nesiba@dw.gov.za	
M Lokay	Faurie	Western Cape Department of Economic Development & Tourism		P.O. Box 979		Cape Town	8000	0214838688			MLokay@ecdev.gov.za	
Dr Gilbert	Lawrence	Western Cape Department of Community Safety		P.O. Box 5346		Cape Town	8000	0214838688			Head.CommSafe@gwc.gov.za	
Mishelle	Govender	Department: Environment, Forest & Fisheries: Chemicals & Waste Management: Hazardous waste Management & Licensing Chief Directorate									mishelle@environment.gov.za	
Fayuz	Qureshey	Department of Eco Dev & Tourism		80 St George's Mall, Waldorf Building, 10th Floor		Cape Town	8000	021 483 5708	0865650914		fayuz@ecdev@westerncape.gov.za	
M	Lokay	Department of Eco Dev & Tourism		80 St Georges Mall Cape Town 8001	PO Box 979	Cape Town	8000	0214834717	0214834892		MLokay@ecdev.gov.za	
Dean	Stoltz	Sub-Directorate: Waste Management Licensing		5th Floor, Property Building, Private Bag X9086	3 Dorp Street	Cape Town	8001	0214832805	0214834425		dean.stoltz@westerncape.co.za	
Anzel	Venter	Department of Economic Development and Tourism		10th Floor 80 St Georges Mall		CapeTown	8001	0214832995	0214834892			

Varsha	Naidoo	Department of Environment, Forestry and Fisheries: CASE OFFICER		473 Steve Biko Road		Pretoria	0002	021 21 399 9494		Vnaidoo@environment.gov.za		Vnaidoo@environment.gov.za
Blaze	Lourens	Department of Labour: Asbestos related matters							0721913257	blaze.lourens@labour.gov.za		blaze.lourens@labour.gov.za
C	Fredericks	Department of Environment, Forestry and Fisheries		473 Steve Biko Road		Pretoria	0002			Cfredericks@environment.gov.za		
Thando	Ndukula	Department of Agriculture, Forestry and Fisheries (DAFF)		Private Bag #9087, Cape Town, 8000			021 809 1400		044 374 8170	tdn@daff.gov.za		tdn@DAFFRD.gov.za
Daniël	Daniels	DEFF Part 8 Contact								daniels@environment.gov.za		
Mtshali	DWS	DEFFS: Western Cape							0829530047	mtshali@environment.gov.za		
Miriam	van der Heever	Eskom: Customer Serv. Execs					021 915 2371			miriam@eskom.co.za		
Abudunagmas	Jacobs	Eskom: Manager					021 534 2033		0845800140	abudunagmas@eskom.co.za		
Wendel	Morkel	Eskom: Planning					021 980 3373			Wendel@eskom.co.za		
Owen	Peters	Eskom Distribution: Land Development Distribution		PO Box 222	Brackenfell	7540	021-9803817	086-5647877		Owen.Peters@eskom.co.za		
Shoun	Swanepoel	Land Development Wayleave Team: Eskom								Shoun@eskom.co.za		
Marius	Wheeler	Cape Nature	Manager						0724047593	mwheeler@capenature.co.za		
Imrat	Adams	Cape Nature	Conservation Officer: Landscape west						0870877262	imrat@capenature.co.za		
Brandon	Loyman	Department of Agriculture: Landuse Management	Landuse Manager	X1 Muldersvlei Road, Etenburg, 7607	Building, Etenburg, Muldersvlei Road	Etenburg	7607	021 808 5093	021-808 5092	Brandon@etenburg.com		
Waseelah	Dhansay	Heritage Western Cape: Heritage Officer		3rd Floor, Protea Assurance Building Green Market Square Cape Town, 8001			021-483 9533			Waseelah.Dhansay@westerncape.gov.za		ceh@heritage.westerncape.gov.za
Dru	Mortheze	Department of Transport and Public Works-PGWC - National			P O Box 2603, Cape Town, 8000		021 483 2177			dru@transport.gov.za		TransportMinistry@dtl.gov.za
Danyl	Colenbrander	National Department of Environment, forestry, and Fisheries (DEFF): Biodiversity and Conservation					0214872355			Danyl.Colenbrander@capetown.gov.za		
Penny	Glorville	Senior Professional officer: Knowledge Manager Conservation Services Unit (CSU) Biodiversity Management Branch (BWB) Environmental Management Department Spatial Planning and Environment Directorate					0214449264			penny@glorville@capetown.gov.za		
Mary	James	Department of Agriculture, Land Reform and Rural Development					02108085008			Mary@eskom.co.za		
David	Morris	Reserve Supervisor:Kastadend Nature Reserve Biodiversity Management Spatial Planning and Environment Directorate					0214447548			david.morris@capetown.gov.za		
Mishelle	Govender	Department: Environment, Forest & Fisheries: Chemicals & Waste Management: Chief Directorate								mishelle@environment.gov.za		
WARD COUNCILORS												
Amelia	Van Rhyen	Subcouncil 2: Manager		Municipal Offices, 87 Brighton Way		Kraaifontein	7570	0214441136/ 021 444 1132		amelia.vanrhyen@capetown.gov.za		
Brenda	Hansen	Subcouncil 2: Chairperson, Ward 111					0219872290		0723388425	Brenda.Hansen@capetown.gov.za		
Gabriel	Twigg	Subcouncil 2: Ward 7 (Brackenfell) Industrial, Everite Industrial					0214001218	02198060555	0721711033	gabriel@twigg@capetown.gov.za		
Marion	Nienoudt	Subcouncil 2: Ward 58					0214055133		0842040033	marion.nienoudt@capetown.gov.za		
Rhynard	Besse	Subcouncil 2: Ward 102					0872029903			rhynard.besse@capetown.gov.za		
Simphe	Nonkeyzana	Subcouncil 2: Ward 06		32738 Sabotage Street, Watsondale, Kraaifontein		Brackenfell	7570		0815381920	Simphe.Nonkeyzana@capetown.gov.za		
Shabonga	Duka	Subcouncil 2: Ward 101					021 9870784		0781935149	shabonga.duka@capetown.gov.za		
OTHER INTERESTED BUSINESS/GROUPS												
Mr & Mrs E.F. MDN	Alves			5 de Oude Schuur Momento Road		Durbanville	7580					
Mrs N	Coccos			25 Gemini Street Everite Industrial Area		Brackenfell	7540					
Mrs I & Mr HJ	Kellerman & Uys			4 Riera Street, Woodblock		Cape Town	7925					
		African Cork Investments		43 Gemini Street, Brackenfell Industrial		Brackenfell	7540					
		African Cork Suppliers		43 Gemini Street, Brackenfell Industrial		Brackenfell	7540	021 981 7701	021 981 3955	info@africancork.co.za		
		Alttech Industrial Park		21 Gemini Street Epping Industrial		Brackenfell	7540					
		Allus Trading 112 PTY LTD		P.O. Box 3983		Tyger Valley	7534					
		Alwyn van Zyl Family Trust		65 Fagardse Street		Port	7444					
		Autospaced Investments Trust		1 Canal Edge		Belville	7530					
		B/T Trust		P.O. Box 6543		Welgemoed	7538					
		Blue 7 Core Drilling CC		Unit 1 Platinum Business Park Taurus Road		Brackenfell	7540	021 981 7761	021 981 7762	blue7cd@telkom.net		
		Bom Free Inv 544 PTY LTD		P.O. Box 6742		Welgemoed	7538					
		Boscoart Trust		10 Taurus Street		Brackenfell	7540					
		Bolha Saketrust		31 Dawn Close		Everetd	7530					
		Brackenfell Mt. Christian CC		P.O. Box 723		Durbanville	7541					
		Carlson CC		6 van Road		Brackenfell	7700					
		Coalition Trading 440 BK		43 Lettie Crescent		Brackenfell	7540					
		CRD Holdings No 3 PTY LTD		17 Chappell Street		Port	7444					
		D & A Barends Trust		P.O. Box 487	Saniarnhof	Belville	7530					
		Daherap CC		21 Church Street		Durbanville	7530					
		Die Doort Family Trust		P.O. Box 2213		Durbanville	7531					
		Die Treurs Greyvensteyn Family Trust		P.O. Box 295		Pottermoester	7381					
		David Barends Beleggings CC		17 Geministraat Everite Industrial Park	Brackenfell	Cape Town	7540					
		Dero Trust		P.O. Box 388		Piketberg	7520					
		Dorami Beleggings Verleerd PTY LTD		P.O. Box 295	Cape Gate	Cape Town	7542					
		DPM PTY LTD		1 Nkhosha Street		George	6530					
		Duvelink Trust		Triangle Farm		Slikid	7530					
		Duvelink Properties		P.O. Box 287		Tygervallei	7534					
		Eden Trust		P.O. Box 985		Brackenfell	7540					
		En Masse Properties 32 CC		P.O. Box 4997		George	6530					
		En Masse Properties 106 CC		39 Mountain Crescent		Kraaifontein	7570					
		ERF 13082 Pook EDMS BPK		Patrol Suite 10 Private Bag X19		Durbanville	7531					
		Flowelwe 145 CC		P.O. Box 504		Cape Gate	7542					
		Gadget Import CC		41 Aven Road		Belville	7530					
		Gladat Trust		Unit 13 Platinum Business Park Taurus Road		Brackenfell	7540					
		Godfrey Park Properties CC		P.O. Box 389		Belville	7535					
		Greenscape Irrigation CC		P.O. Box 1700		Brackenfell	7541					
		HW Kall Family Trust		P.O. Box 2459		Durbanville	7531					
		ANMIA Prop CC		P.O. Box 1356		Saniarnhof	7532					
		Jordan Beleggings Trust		58 Keutboom Avenue		Brackenfell	7540					
		JJ Esterhuysen Family Trust		3 Keutboom Street		Brackenfell	7540					
		Jordan Vleete Valley Gables CC		Ausspannplatz, Windhoek, Namibia		9000	7540					
		Juicy Family Trust		P.O. Box 244		Kraaifontein	7549					
		JWJ Business Park		P.O. Box 1349		Durbanville	7531					
		Kranya Roofing Property CC		P.O. Box 2586		Belville	7535					
		Kommisaris Makelaars CC		P.O. Box 1034		Kranya	6525					
		Kranied Investments CC		P.O. Box 7114		Welgemoed	7538					
		Kranya Trust		P.O. Box 185		Brackenfell	7541					
		Marcelle Prop 197 CC		P.O. Box 287		Belville	7541					
		Minchall Trust		P.O. Box 1551		Belville	7535					
		Noble Investments CC		P.O. Box 545		Howard Place	7495					
		New Heights 1398 CC		15 Jans Street		Sonnenburg	7444					
		Nevins Investments PTY LTD		P.O. Box 163		Isipingo	7475					
		Nowlan Civils CC		1 Walter Street		Brackenfell	7540					
		NVM Trading (Proprietary Limited)		P.O. Box 97	Great Brak River	Kranya	6525					
		P Bils Verwoer CC		P.O. Box 525		Brackenfell	7572					
		Platinum Business Park Body Corp		12 Paces Crescent		Brackenfell	7572					
		Purples Moss 1014 CC		Everite Park 2000		Tygervallei	7534					
		Quiverst Eleven		P.O. Box 542		Durbanville	7531					
		Randance Investments 108		P.O. Box 1578		Brackenfell	7541					
		Randance Investments 109		Case on Unit 8		Brackenfell	7541					
		Rapadoza 214 PTY LTD		No 12 Industrial Park		Brackenfell	7541					
		Rapadoza 230 PTY LTD		P.O. Box 3963		Tygervallei	7534					
		Redlex 335 PTY LTD		P.O. Box 3963		Tygervallei	7534					
		Redlex 335 PTY LTD		P.O. Box 3542		Durbanville	7531					
		Redlex 335 PTY LTD		P.O. Box 334		Maitland	7299					
		Speed O Properties CC		P.O. Box 334		Brackenfell	7540					
		Speed O Properties CC		Protea Heights		Brackenfell	7540					
		SVS Asset Management CC		P.O. Box 6542		Parow East	7501					
		Talented Property Management CC		P.O. Box 15443		Panorama	7504					
		The Mountain Trust		P.O. Box 1818		Brackenfell	7541					
		The Orange Wizard Promotions CC		33 South Beach Road	Umdlot	Durbanville	4355					
		The Trustees for the Time Being Of The		31 Stellenberg Road	Ooklaan	Belville	7530					
		Tonelo Prop Holdings CC		P.O. Box 4378		Belville	7537					
		Trip AG Electrical CC		P.O. Box 1804		Belville	7535					
Inge	de Kock	Van Wyk Plant Hire CC		38 Dickson Crescent		Brackenfell	7540					
		Vereida Prop Trust		P.O. Box 802		Kuls River	7577	0219819706	0219819705	083 243 2528	vanwykplant@gmail.com	
		WC Metal Glass CC		4 Platinum Business Park 210 Tee Jay Road		Brackenfell	7530					
Cornelis	Amorad	Xinergix Investments Prop		Sandstad Heights		Durbanville	7530	0219812100	0219812109	amorad@xinergix.com		
Elmer	Becker	Metro Web		15 Tosa Road		Brackenfell	7541	0219812100	0219812109	elmer@metroweb.co.za		
Anton	Brink	8.5 Trust		P.O. Box 119		Brackenfell	7541	0219812100	0219812109	anton@brinkweb.co.za		
Miri Nicolas	Coccos	Kaloranda Hardware (Pty) LTD.		P.O. Box 6543		Welgemoed	7538	0219131941	0219131941	kaloranda@kalic.net		
Carlo	de Klerk	Nampak		25 Gemini Street		Brackenfell	7540	0219810802	0219810802	carlo@nampak.co.za		
Johan	du Toit	Atomotive Dynamix		P.O. Box 2273		Durbanville	0219818171	0219818173		johand@atomotive.co.za		
Bernie	Engelke	Heddon		13 Gemini Street		Brackenfell	7541	0219824411	0219824410	bernie@heddon.co.za		admin@heddon.co.za
Indray	Jeffries	Heddon Automotive Engineering		Everite Park		Cape Town	7541	0219824411	0219824410	indray@heddon.co.za		indray@heddon.co.za
Clinton	Johns	European Properties		P.O. Box 1578		Brackenfell	7541	0219824411	0219824410	clinton@johns.co.za		clinton@johns.co.za
Ired	Jochens	European Properties		Libra Close		Brackenfell	7541	0219811440	0219811541	ired@jochens.co.za		

I	Kellerman			4 Free Street	Woodstock	Cape Town	7925					
Jan	Koegelenberg			Deventerpad 4	Brackenell		7540	021 981 7804		082 472 8033	info@kocw@gmail.com	
Roane	Low										w.joeneauw@igmail.com	
Bena	Low	Sankam Employee Benefits		2 Strand Road, Bellville	PO Box 1, Sankamhof	Bellville	7530	0219474977	0219573012	0834147824	rene.low@syntion.co.za	
Smallbones	Peko	Smallbones Properties		P.O. Box 1026				021 981 3463	0865187847	0834607023	smallbones@coqdev.co.za	peko@smallbones.co.za
Johan	Roufenbach	Knyana Roofing Properties		P.O. Box 4401		Knyana		044 38 4252	044 382 4297		john@rofenet.co.za	
Soma	Ruestzhe	Platinum Business Park Body Corp				Durbanville	7531	021 975 4794	021 975 8948		somew@residentsat.co.za	
Gideon	Serfontein	Gaese Hoop Onderdele		10 Taurus Street		Brackenfell	7540	0219814501	0219814672		info@ghs.co.za	
Johannes	Smith	Asacrest		72 Gladiosa, Crescent		Protea Village		0219826112		0824704840	info@3333858@telkomso.net	Email bounced, no contact details
Neddie	Timmerman			4 Free Street		Woodstock	7925					
B.G	Uys											
H.J	Van Wyk											
I	Van Zyl										conevu@telkomso.net	
Charl	Visser	Charl Visser Prop CC		P.O. Box 298		Brackenfell	7541					
				Unit 49, Platinum Business Park, 30 Taurus Street								
		The Tashop		Office G1, Brackenite Office Park, Krus Road		Brackenfell	7540	0218208250				
		Wanda		Unit 3.13 Polys Crescent, Okavango Park, Brackenell Industria			7540	021 981 5057	021 982 7289		info@Xtrends.com	
		Fish and Shae				Cape Town	7540	0826393853		0823347668	info@fishandshae.com	
Edward	Smith	Precision Plastics		12 Tee-jay Rd, Brackenfell Industria		Cape Town	7540	0219827546		0824547180	edward@precision.co.za	
		NPC Painter & Renovators		Platinum Business Park		Brackenfell	7540	0219810864				
		Gen - Asist LTB		18 Platinum Business Park, 38 Taurus Road, Brackenell		Brackenfell	7540					
		Industrial Pumps SA		40 Platinum Business Park, Taurus Road, Brackenell		Cape Town	7540	0219812622			info@indpumps.co.za	info@indpumps.co.za
		Klich Me UP				Cape Town	7540	021 975 9331			info@klichmeup.co.za	
Alan	Wood	Agricultural Research Council		Taurus Street, 40							WoodA@arc-agric.za	
		Abacus Administration Trust		71 Protea Road		Claremont	7708					
BP	Yas	LA Road CC & ERF 13012 CC		P.O. Box 723		Brackenell		0219823040	0219818487		info@brackenell.co.za	
Neil	Williams	Crane Truck Hire		P.O. Box 1551		Bellville		0219810094	0219818890	082 444 0909	info@crane trucks.co.za	
BUSINESSES AROUND SITE (SITE PICS)												
		Coschid Labels		26 Gemini Street		Brackenell	7540	0219820044			info@coschidlabels.co.za	
		Senekal Storage Man		20 Gemini Street		Brackenell	7540	0219813777			info@senekalstorage.co.za	
		Weismag CC		21 a Gemini St		Brackenell	7540	0219820773			jeon@weismag.co.za	
		Wilica Crane Hire		19 Gemini Street		Brackenell	7540	0219810004		0824446009	info@conetvics.co.za	
		Synman 4x4		29 Gemini Street		Brackenell	7540	021982 6008		0844911264/084 588 0472	info@synmandx.co.za/info@synmandx.co.za	
		PM Distributors CC		Unit 2, 33 Gemini Street		Brackenell	7540	021 300 5838			info@pmdistributors.co.za	
		Cape Refractory Industries		34 Gemini Street		Brackenell	7540	021982 7484	021982 7477		info@cape-ref.co.za	
		Swelatch Incubator & Site Poultry Equipment		31 Gemini Street		Brackenell	7540	0293892590			swelatch@swelatch.co.za	
HERITAGE BODIES												
Theda	Weyers	Friends of Bracken Nature Reserve		14 Roosters Street		Brackenell	7540	0219823634			info@thedaop.co.za	
Bennie	Hobbs	Friends of Bracken Nature Reserve		P.O. Box 8		Brackenell	7541	021 981 1275	021 981 1275		info@hobbs@brackell.net	
Alan	Wood	Friends of Bracken Nature Reserve		P.O. Box 8		Brackenell	7541	021 981 1275	021 981 1275		alanwood111@gmail.com	
		Brackenell Nature Reserve		2 Reserve Road		Brackenell	7541	021 4440380			Brackenellnaturereserve@capeptown.gov.za	
ASSOCIATIONS & FORUMS												
Ri Corradie	KFF Sutter	Brackenell Taxpayers (Secretary & Chairman)		1 Diasa Street		Protea Heights	7540	0219819947			info@taxpayers.co.za, info@taxpayers.co.za	
				10 Bracken Street, Protea Heights			7540	021981 9874		082 4523420	info@taxpayers.co.za	
Pieter	Leroux	Rate Payers		Brackenell Boulevard Street							pieter4703@gmail.com	
		Brackenell Community Policing Forum				Brackenell	7540			0837154494	info@brackenell@gmail.com	
		Protea Heights South Neighborhood Watch				Brackenell	7540			0827775865	info@brackenh.co.za	
		Protea Heights North Neighborhood Watch				Brackenell	7540			0845077459	info@brackenh@gmail.com	
		Bellville South Community Police Forum								0838238324	info@brackenh@gmail.com	
		Brackenell Forum				Brackenell	7540				brackenell_forum@gmail.com	

APPENDIX B

Project Programme

[illegible]

EAP	
Specialists	
Applicant	
DFFE	
Public Comment Period	
Annual Shutdown Period	

APPENDIX 2

Proof of Payment



NOTIFICATION OF PAYMENT

To Whom It May Concern:

First National Bank hereby confirms that the following payment instruction has been received:

Date Actioned	: 2021/12/03
Time Actioned	: 15:14:26
Trace ID	: 7N9DJVZH

Payer Details

Payment From	: Duro Brick
Cur/Amount	: ZAR25,110.00

Payee Details

Recipient/Account No	: . . 923426
Name	: Chand
Bank	: Standard Bank
Branch Code	: 051001
Reference	: 170/038

END OF NOTIFICATION

To authenticate this Payment Notification, please visit the First National Bank website at fnb.co.za, select the "Verify Payments" link and follow the on-screen instructions.

Our customer (the payer) has requested First National Bank Limited to send this notification of payment to you. Should you have any queries regarding the contents of this notice, please contact the payer. First National Bank Limited does not guarantee or warrant the accuracy and integrity of the information and data transmitted electronically and we accept no liability whatsoever for any loss, expense, claim or damage, whether direct, indirect or consequential, arising from the transmission of the information and data.

APPENDIX 3

List of landowners (with contact details) and written consent of landowners

NOT APPLICABLE AS APPLICANT IS LANDOWNER

APPENDIX 4

List of Local/Provincial Authority involved (with contact details)

IN BODY OF APPLICATION

APPENDIX 5

Strategic Infrastructure Projects

NOT APPLICABLE

APPENDIX 6

Coordinate points of Listed Activities

TABLE OF CO-ORDINATES OF NEMA LISTED ACTIVITIES IN TERMS OF THE EIA REGULATIONS (2014), AS AMENDED

Activity No.	Project Component	Co-ordinates
LISTING NOTICE 1		
31	<p>The decommissioning of existing facilities, structures or infrastructure for</p> <ul style="list-style-type: none"> (i) any development and related operation activity or activities listed in this Notice, Listing Notice 2 of 2014 or Listing Notice 3 of 2014; (ii) any expansion and related operation activity or activities listed in this Notice, Listing Notice 2 of 2014 or Listing Notice 3 of 2014; (iii) any phased activity or activities for development and related operation activity or expansion or related operation activities listed in this Notice or Listing Notice 3 of 2014; or (iv) any activity regardless the time the activity was commenced with, where such activity: <ul style="list-style-type: none"> a. is similarly listed to an activity in (i) or (ii) above; and b. is still in operation or development is still in progress; <p>excluding where—</p> <ul style="list-style-type: none"> (aa) activity 22 of this notice applies; or (bb) the decommissioning is covered by part 8 of the National Environmental Management: Waste Act, 2008 (Act No. 59 of 2008) in which case the National Environmental Management: Waste Act, 2008 applies. 	<p>33° 52' 29'' S 18° 42' 03'' E</p>
LISTING NOTICE 3		
12	<p>The clearance of an area of 300 square metres or more of indigenous vegetation except where such clearance of indigenous vegetation is required for maintenance purposes undertaken in accordance with a maintenance management plan.</p>	<p>33° 52' 29'' S 18° 42' 03'' E</p>

APPENDIX 7

Locality Map



Figure 1: Locality map of the proposed site in Brackenfell

APPENDIX 8

Project Schedule

	Everite WML Basic Assessment- Programme v1.0 7 December 2021		2021								2022																																										
		Duration	Nov				Dec				Jan				Feb				Mar					Apr				May					Jun				July				Aug					Sept				Oct			
		(Working Days Except for Statutory Timeframes)	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	5	1	2	3	4	1	2	3	4	5	1	2	3	4	1	2	3	4	1	2	3	4	5	1	2	3	4				
	Basic Assessment Programme																																																				
	Pre-Application Activities																																																				
1	Specialist TOR and appointments COMPLETE																																																				
2	Specialist Impact Assessments COMPLETE	40																																																			
3	Identification of I&APs COMPLETE	10																																																			
4	Compilation of Draft BAR and EMPr COMPLETE	30																																																			
5	Internal review of Draft BAR and EMPr COMPLETE	5																																																			
6	Applicant Review of Draft BAR and EMPr COMPLETE	10																																																			
	Application and Post-Application Activities																																																				
7	Completion of EA and WML Application Forms	10																																																			
8	Applicant Review of Application Forms	10																																																			
9	Completion of PPP Plan & Req for pre-app meeting form	5																																																			
10	Finalisation and Submission of PPP Plan and Application Forms to the DFFE	5																																																			
11	The DFFE Acknowledges the Application and Provides a Reference Number	14																																																			
12	Advertisement of Project, Notification of I&AP Registration and availability of BAR and EMPr for public comment via advertisement, site notice, mail-out, document upload to Chand's website	5																																																			
13	Public comment Period for BAR, EMPr	30																																																			
14	Compilation of CRR	10																																																			
15	Finalisation of BAR and EMPr for submission	10																																																			
16	Applicant Review of final BAR and EMPr	5																																																			
17	Amend and submit final BAR and EMPr to the DFFE	5																																																			
18	DFFE to Decide on Application	107																																																			
19	DFFE to notify client of decision	5																																																			
20	Notification of decision to I&APs	5																																																			
21	Appeal period	20																																																			
21	Timframe in which to submit Final BAR	90																																																			

EAP	
Specialists	
Applicant	
DFFE	
Public Comment Period	
Annual Shutdown Period	

APPENDIX 9

Declaration of Applicant

**APPENDIX 9
DECLARATION OF THE APPLICANT**

I, Prabir Samra O.B.O. Durobeck Company (Pty) Ltd, declare that –

- I am, or represent¹, the applicant in this application;
- I have appointed an Environmental Assessment Practitioner (EAP) to act as the independent EAP for this application / have obtained exemption from the requirement to obtain an EAP²;
- I will take all reasonable steps to verify whether the EAP and specialist/s appointed are independent and have expertise in conducting environmental impact assessments or undertaking specialist work as required, including knowledge of the Act, the EIA Regulations and any guidelines that have relevance to the proposed activity;
- I will provide the EAP and the Competent Authority with access to all information at my disposal that is relevant to the application;
- I will be responsible for the costs incurred in complying with the Regulations, including but not limited to –
 - costs incurred in connection with the appointment of the EAP or any person contracted by the EAP;
 - costs incurred in respect of the undertaking of any process required in terms of the Regulations;
 - costs in respect of any fee prescribed by the Minister or MEC in respect of the Regulations;
 - costs in respect of specialist reviews, if the Competent Authority decides to recover costs; and
 - the provision of security to ensure compliance with conditions attached to an environmental authorisation, should it be required by the Competent Authority;
- I will inform all registered interested and affected parties of any suspension of the application as well as of any decisions taken by the Competent Authority in this regard;
- I am responsible for complying with the conditions of any environmental authorisation issued by the Competent Authority;
- I hereby indemnify the Government of the Republic of South Africa, the Competent Authority and all its officers, agents and employees, from any liability arising out of the content of any report, any procedure or any action which the applicant or EAP is responsible for in terms of these Regulations;
- I will not hold the Competent Authority responsible for any costs that may be incurred by the applicant in proceeding with an activity prior to obtaining an environmental authorisation or prior to an appeal being decided in terms of these Regulations;
- I will perform all obligations as expected from an applicant in terms of the Regulations;
- all the particulars furnished by me in this form are true and correct; and
- I am aware of what constitutes an offence in terms of Regulation 48 and that a person convicted of an offence in terms of Regulation 48(1) is liable to the penalties as contemplated in section 49B of the Act.
- I am aware that in terms of Section 24F of the National Environmental Management Act, as amended (Act No. 107 of 1998) that no listed activity may commence prior to an environmental authorisation being granted by the Competent Authority.

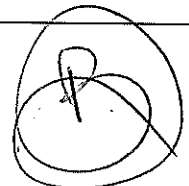
Signature³ of the applicant/ Signature on behalf of the applicant

Duro Beck Company (Pty) Ltd

Name of company (if applicable)

2021.11.18.

Date:



¹ If this is signed on behalf of the applicant, proof of such authority from the applicant must be attached. If the applicant is a juristic person, a signature on behalf of the applicant is required as well as proof of such authority.

² If exemption is obtained from appointing an EAP, the responsibilities of an EAP will automatically apply to the person conducting the environmental impact assessment in terms of the Regulations.

³ Only original signatures will be accepted. No scanned, copied or faxed signatures will be accepted. An EAP may not sign on behalf of an applicant.

APPENDIX 10

Declaration of EAP

**APPENDIX 10
DECLARATION OF THE EAP**

I, Claudette Muller, declare that –

- I act as the independent environmental assessment practitioner in this application;
- I have expertise in conducting environmental impact assessments, including knowledge of the Act, Regulations and any guidelines that have relevance to the proposed activity;
- I will comply with the Act, Regulations and all other applicable legislation;
- I will perform the work relating to the application in an objective manner, even if this results in views and findings that are not favourable to the applicant;
- I will take into account, to the extent possible, the matters listed in Regulation 13 of the Regulations when preparing the application and any report relating to the application;
- I undertake to disclose to the applicant and the Competent Authority all material information in my possession that reasonably has or may have the potential of influencing - any decision to be taken with respect to the application by the Competent Authority; and - the objectivity of any report, plan or document to be prepared by myself for submission to the Competent Authority, unless access to that information is protected by law, in which case it will be indicated that such information exists and will be provided to the Competent Authority;
- I will perform all obligations as expected from an environmental assessment practitioner in terms of the Regulations; and
- I am aware of what constitutes an offence in terms of Regulation 48 and that a person convicted of an offence in terms of Regulation 48(1) is liable to the penalties as contemplated in Section 49B of the Act.

Disclosure of Vested Interest (delete whichever is not applicable)

- I do not have and will not have any vested interest (either business, financial, personal or other) in the proposed activity proceeding other than remuneration for work performed in terms of the Regulations;
- ~~I have a vested interest in the proposed activity proceeding, such vested interest being:~~

NOT APPLICABLE


Signature of the environmental assessment practitioner

Chand Environmental Consultants cc
Name of company:

7/12/2021
Date

APPENDIX 11

Site Sensitivity Verification Report and Screening Tool Report

APPLICATION FOR A WASTE MANAGEMENT LICENSE TO DECOMMISSION THE EVERITE ASBESTOS SITE, ERF 18354, BRACKENFELL

The "Protocols for the Assessment and Minimum Criteria for Reporting on identified Environmental Themes ("the Protocols") were published in Government Gazette No. 43110 on 20 March 2020 and Government Gazette No. 43855 on 30 October 2020. The Protocols are allowed for in terms of Sections 24(5)(a) and (h) and 44 of the National Environmental Management Act, 1998 (Act No. 107 of 1998) ("NEMA").

The location of the site is shown in the aerial image included in Figure 1. The site is located in an urban area. This site sensitivity verification report relates to a Screening Tool Report (STR) completed for the site in March 2020. It should be noted that the same proposal was subject to a Basic Assessment in 2013 but the application lapsed before the process could be completed. Site investigations and specialist studies thus commenced prior to the Protocols being enacted and before the compilation of this SSV Report.

Compiled by Chand Environmental Consultants
September 2021

SENSITIVITY VERIFICATION METHODOLOGY:

The site sensitivity verification statement was compiled by the EAP and is based on:

- A site visit undertaken on 3 March 2020.
- A desktop investigation using biodiversity and land use mapping tools (BGIS, Cape Farm Mapper, City of Cape Town Zoning Viewer, etc.); and
- Baseline information recorded in specialist assessments and reports undertaken by freshwater ecologist, botanical specialist, geohydrologist, geotechnical engineer, traffic engineer, heritage specialist and asbestos waste specialists.

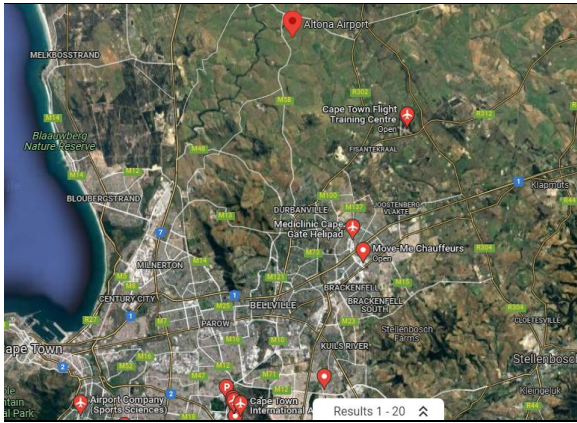
Note that at the time of writing this report, specialist studies had already been completed which provided ground-truthed knowledge on the actual environmental sensitivities of the site.

SITE SENSITIVITY VERIFICATION:

The table below, supporting photographs and reference to specialist assessments serve to:

- Verify land use and sensitivities identified in the screening report; and
- Confirm / contest the need for the various specialist inputs called for in terms of the screening tool report.

No.	Environmental Theme	Applicable Protocol	Response
1.	AGRICULTURE Sensitivity Rating: Medium Requiring an Agricultural Impact Assessment Actual Sensitivity: Negligible	Protocol for the assessment and reporting of environmental impacts on agricultural resources (in accordance with the protocol prescribed in GNR 320).	The Screening Tool denoted the site as Medium sensitivity. The land is however not arable at all because it is contaminated with asbestos and excavation and planting of crops therein would result in significant disturbance to the asbestos, which is highly undesirable. Therefore, no further consideration of the site's potential for agriculture is required and no further studies will be undertaken to investigate this theme
2.	ANIMAL SPECIES Sensitivity Rating: Medium Requiring an Animal Species Impact Assessment Actual Sensitivity: Low	Animal Species Assessment Protocols prescribed in GN 43855)	A list of potential faunal species which could be found on site is included in the Botanical Impact Assessment (Turner, 2012). This theme is further addressed in the EMPr which provides measures to protect any fauna found on site and the retention of the stormwater pond area and provision of green buffer areas would also serve to provide some faunal habitat.
3.	AQUATIC BIODIVERSITY Sensitivity Rating: Low Requiring an Animal Species Impact Assessment Actual Sensitivity: Low	3(b) Protocol for the assessment and reporting of environmental impacts on aquatic biodiversity (GG 45421 of 10/05/2019) _ DRAFT	The Screening Tool has marked the site as Low Sensitivity. A Freshwater Impact Assessment (Belcher, 2012) has been carried out and it describes the baseline conditions of the site and has considered the impacts applicable to the site and development proposal. It has also guided the proposed development footprint/site plan with the requirements for retention of the stormwater pond and a 15 m buffer zone (which is implicit in the proposed site plan). Mitigation measures from the assessment have been included in the EMPr as well.

4.	<p>ARCHAEOLOGICAL AND CULTURAL HERITAGE</p> <p>Sensitivity Rating: High</p> <p>Requiring an Archaeological and Cultural Heritage Impact Assessment</p> <p>Actual Sensitivity: Low - Negligible</p>	<p>No specific protocol-consider general requirements (GG 45421 of 10/05/2019)_DRAFT)</p>	<p>Given the High rating for this theme and the extent of the site, a Heritage Practitioner (Baumann, 2012) conducted a screening assessment on the site and proposed development and completed a Notification of Intent to Develop (NID) in terms of Section 38(1) & (8) of the National Heritage Resources Act (NHRA).</p> <p>Among other aspects, the NID contemplates archaeological and cultural heritage features of cultural significance and it has been confirmed that there are no such sensitivities on the site. In response to the NID, HWC confirmed same. Therefore, no further consideration in this regard is required. The NID and response from HWC are included in the Draft BAR.</p>
5.	<p>CIVIL AVIATION</p> <p>Sensitivity Rating: High</p> <p>Requiring a Civil Aviation Impact Assessment</p> <p>Actual Sensitivity: Negligible</p>	<p>In accordance with the protocol prescribed for Civil Aviation Assessment in GNR 320</p>	<p>The STR notes that the site is located within 15 km of a civil aviation radar and within 8 and 15 km of a major/other civil aviation aerodrome.</p> <p>This is presumably as a result of the Cape Town Flight Training Centre/Cape Winelands Airport, Cape Town International, the Altona airstrip and the Wingfield Military Base, all being located between 15 km and 30km away from the site (refer to Figure 2).</p>  <p><i>Figure 2: Location of civil aviation facilities in proximity to the site</i></p> <p>The proposed development however, would not affect any civil aviation activity given that the structures are not high and do not comprise any telecommunications structures that may have potential to interfere with navigation/communication. There are also no runway facilities or any other activity that could affect an aviation aerodrome or radar or its operations.</p> <p>This rating is therefore disputed to, in fact, to be Negligible.</p> <p>As such, no specialist investigations are deemed necessary and none have been undertaken in support of the application.</p>

6.	PLANT SPECIES Sensitivity Rating: High Requiring a Plant Species Impact Assessment Actual Sensitivity: High	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	<p>The Screening Tool has marked the site as High Sensitivity for the plant species theme.</p> <p>The EAP is in agreement with this rating and as such a botanical impact assessment (Turner, 2012) has been carried out for the site and the impact assessment is included in the Basic Assessment Report.</p> <p>Recommendations from the report have been included in the site plan (in the form of retaining the water catchment area and a buffer, as well as the inclusion of relocation of certain species, landscaping measures and a green landscaped area) and the EMPr.</p>
7.	DEFENCE Sensitivity Rating: Medium Requiring a Defence Assessment Actual Sensitivity: Negligible	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	<p>The Screening Tool flags this theme as Medium. This is presumably due to the nearby Wingfield Military base located some 20 km from the site.</p> <p>None of the components comprising the development proposal will compromise the ability of the defence force to defend the area against any unrest / threats on security. The development as proposed therefore presents no defence sensitivity and therefore, no specialist investigations are deemed necessary.</p>
8.	TERRESTRIAL BIODIVERSITY Sensitivity Rating: Very High Requiring a Terrestrial Biodiversity Impact Assessment Actual Sensitivity: High	3(a) Protocol for the assessment and reporting of environmental impacts on terrestrial biodiversity (GG 45421 of 10/05/2019) _DRAFT	<p>The Screening Tool has marked the site as Very High Sensitivity.</p> <p>A botanical impact assessment has been carried out for the site and the impact assessment is included in the Basic Assessment Report.</p> <p>Recommendations from the report have been included in the site plan (in the form of retaining the water catchment area and a buffer, as well as the inclusion of relocation of certain species, landscaping measures and a green landscaped area) and the EMPr.</p>
Other Impact Assessments called for by the Screening Tool			
9.	Landscape/ Visual Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	<p>A Heritage Practitioner conducted a screening assessment on the site and proposed development and completed a Notification of Intent to Develop (NID) in terms of Section 38(1) & (8) of the National Heritage Resources Act (NHRA).</p> <p>Among other aspects, the NID contemplates landscapes and natural features of cultural significance and it has been confirmed that there are no such sensitivities on the site. In response to the NID, HWC confirmed same. Therefore, no further consideration in this regard is required.</p>
10.	Palaeontology Impact Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	<p>A Heritage Practitioner conducted a screening assessment on the site and proposed development and completed a Notification of Intent to Develop (NID) in terms of Section 38(1) & (8) of the National Heritage Resources Act (NHRA).</p>

			Among other aspects, the NID contemplates palaeontological features and it has been confirmed that there are no such sensitivities on the site. In response to the NID, HWC confirmed same. Therefore, no further consideration in this regard is required.
11.	Hydrology Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	<p>The screening tool has not assigned a sensitivity rating to hydrology. The hydrology on site has been contemplated and addressed from a variety of angles through the following specialist assessments (which are included in this Basic Assessment Report):</p> <ul style="list-style-type: none"> • Hydrogeology Assessment (refer to Appendix J5 of the BAR) • Geotechnical Assessment (refer to Appendix J3 of the BAR); • Freshwater Impact Assessment (refer to Appendix J2 of the BAR); and • Services Assessment and Stormwater Management Design (refer to Appendix H of the BAR). <p>Requirements from these assessments have been responded to in the proposed layout as well as through specifications in the EMPr.</p>
12.	Noise Impact Assessment	Protocol for the assessment and reporting of noise impacts (GG 45421 of 10/05/2019) _DRAFT	<p>The Screening Tool has not assigned a sensitivity rating to noise. Noise impacts have been contemplated in the BAR and measures have been included in the EMPr to mitigate noise impacts during construction. However, the site is not considered to be a noise-sensitive environment given that it is located in an industrial area and surrounded by industrial use (the area is also zoned for industrial use).</p> <p>Therefore, no further considerations in this regard are applicable.</p>
13.	Traffic Impact Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	As prescribed by the Screening Tool and as requested by an Interested Affected Party during the previous Basic Assessment, a traffic study has been conducted (refer to Appendix J6 of the BAR) and the findings thereof are included in the Basic Assessment Report and the EMPr.
14.	Geotechnical Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	A traffic study was conducted (refer to Appendix J6 of the BAR) and the findings thereof are included in the Basic Assessment Report and the EMPr.
15.	Climate Impact Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	No climate assessment has been done, however various flood events as per the City of Cape Town SUDS policy have been accommodated in the Stormwater Management Plan.
16.	Health Impact Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	Risks to human health have been considered in the asbestos report (Appendix J7 of the BAR) in terms of the likelihood of human exposure to asbestos. Presence of asbestos in groundwater has been confirmed to be unlikely in the groundwater assessment (refer to Appendix J5 of the BAR).

			Furthermore, measures to limit exposure risk of asbestos to humans have been included in the EMPr
17.	Socio-Economic Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	The socio-economic aspects of the site and proposal have been considered and addressed in the Basic Assessment Report through inclusion of the following: <ul style="list-style-type: none"> • Socio-economic profile of the community around the site; and • Detailing the financial contribution of the project to the economy as well as to previously disadvantaged individuals.
18.	Ambient Air Quality Impact Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	Ambient air quality monitoring for airborne asbestos has been undertaken (and continues to be undertaken on site), with the findings thereof detailed in the Asbestos Report (refer to Appendix J7 of the BAR by OHMS, 2021). No airborne asbestos has been detected and so no further air quality impact assessment is required. However, monitoring for airborne asbestos will continue until closure of the site.
19.	Seismicity Assessment	No specific protocol-consider general requirements (GG 45421 of 10/05/2019) _DRAFT)	No seismicity assessment specifically has been; however, the geotechnical report (refer to Appendix J3 of the BAR) has made recommendations pertaining to appropriate foundations which would withstand earthquakes as well as other factors.

References:

Baumann, N. May 2012. *Everite Asbestos Site Brackenfell Waste Consolidation site: Decommissioning and Redevelopment*, NID Submission in terms of Section 38 (8) of the NHR Act. N Baumann, Cape Town

Belcher, A. June 2012. *Freshwater Assessment for the Proposed Decommissioning and Redevelopment of the Everite Asbestos Waste Consolidation Site*. BlueScience, Cape Town

OHMS. September 2021. *Asbestos Assessment for Chand Environmental Consultants: Everite Site, Brackenfell, Cape Town*. OHMS, Melkbosstrand

Turner, R. June 2012. *Botanical Screening Report of the Old Everite Asbestos Waste Consolidation Site, Brackenfell, Cape Town*. Ross Turner, Kommetjie

APPENDIX A:

Screening Tool Report

**SCREENING REPORT FOR AN ENVIRONMENTAL AUTHORIZATION OR
FOR A PART TWO AMENDMENT OF AN ENVIRONMENTAL AUTHORISATION
AS REQUIRED BY THE 2014 EIA REGULATIONS – PROPOSED SITE
ENVIRONMENTAL SENSITIVITY**

EIA Reference number: pending

Project name: Everite Site

Project title: Waste Management License for Capping and Redevelopment of Old Everite
Asbestos Site, Erf 18354, Brackenfell Industria

Date screening report generated: 23/03/2020 12:06:43

Applicant: Duro Brick Co (Pty) Ltd

Compiler: Chand Environmental Consultants

Compiler signature:

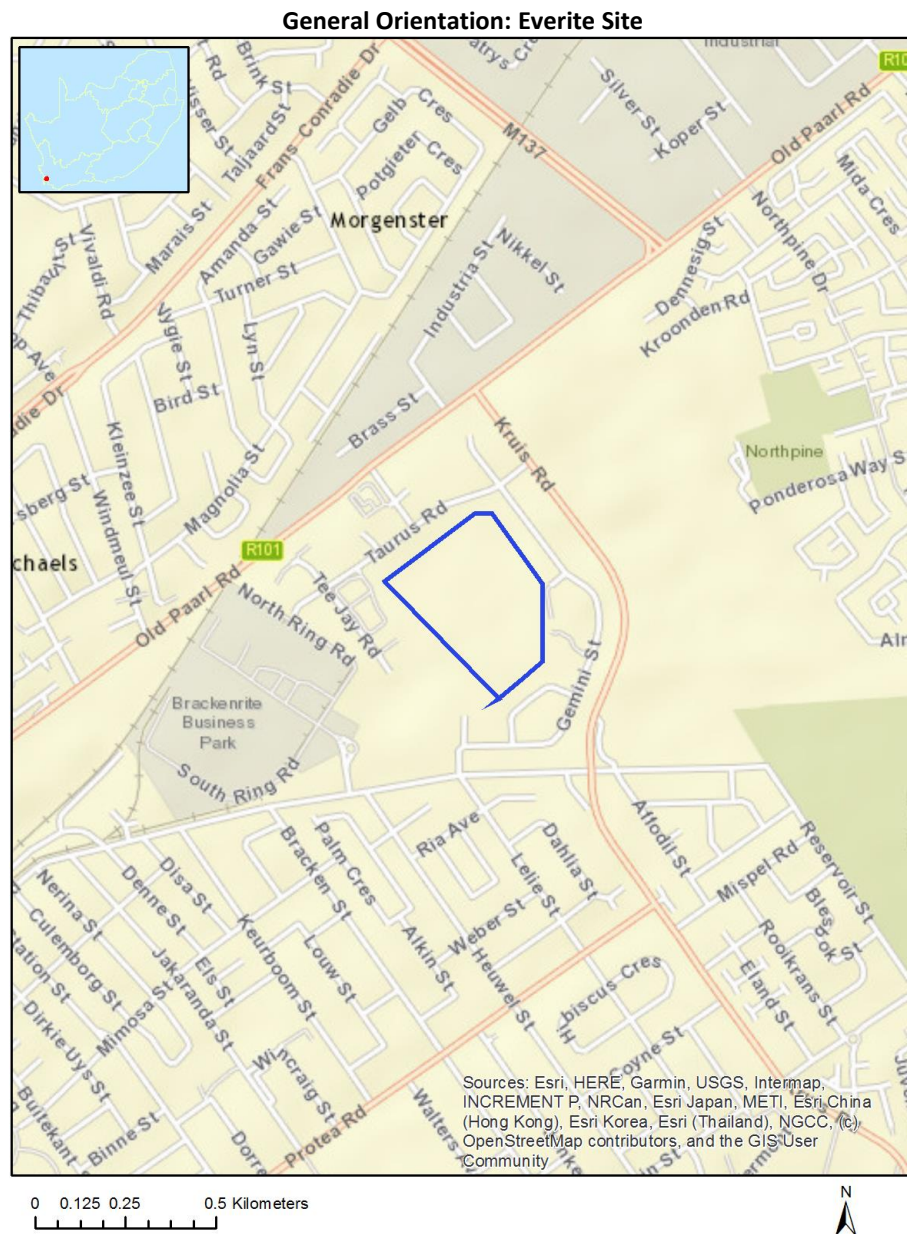
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Proposed Project Location

Orientation map 1: General location



Map of proposed site and relevant area(s)



Cadastral details of the proposed site

Property details:

No	Farm Name	Farm/ Erf No	Portion	Latitude	Longitude	Property Type
1	BRACKENFELL (STELLENBOSCH)	18354	0	33°52'29.97S	18°42'3.92E	Erven
2	BRACKENFELL (STELLENBOSCH)	18484	0	33°52'39.09S	18°41'59.63E	Erven
3	BRACKENFELL (STELLENBOSCH)	18484	0	33°52'39.26S	18°41'58.39E	Erven
4	BRACKENFELL (STELLENBOSCH)	14290	0	33°52'37.28S	18°42'6.63E	Erven

Development footprint¹ vertices:

No development footprint(s) specified.

Wind and Solar developments with an approved Environmental Authorisation or applications under consideration within 30 km of the proposed area

No nearby wind or solar developments found.

¹ "development footprint", means the area within the site on which the development will take place and includes all ancillary developments for example roads, power lines, boundary walls, paving etc. which require vegetation clearance or which will be disturbed and for which the application has been submitted.

Environmental Management Frameworks relevant to the application

No intersections with EMF areas found.

Environmental screening results and assessment outcomes

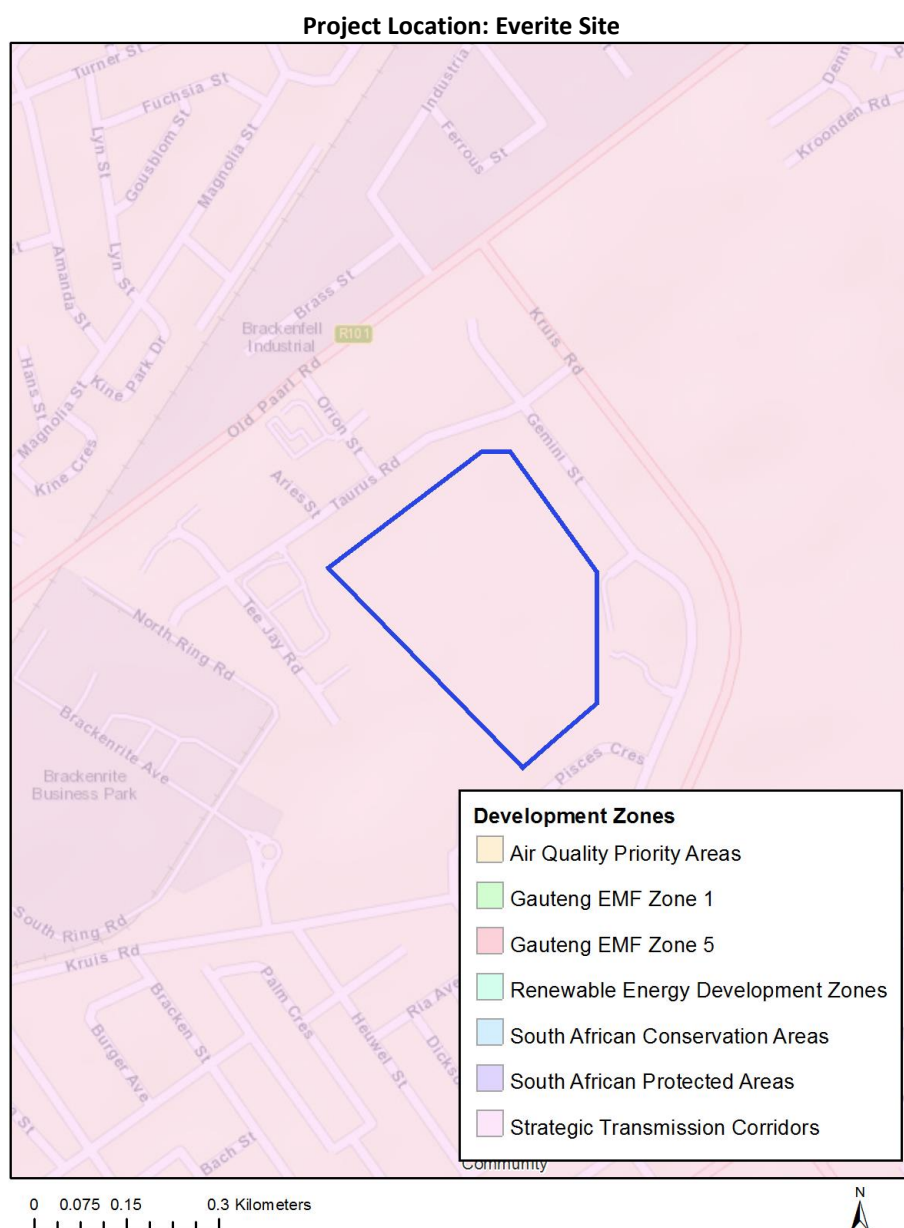
The following sections contain a summary of any development incentives, restrictions, exclusions or prohibitions that apply to the proposed development site as well as the most environmental sensitive features on the site based on the site sensitivity screening results for the application classification that was selected. The application classification selected for this report is: Services|Waste Management Services|Disposal facilities|Hazardous|Disposal facilities - Hazardous.

Relevant development incentives, restrictions, exclusions or prohibitions

The following development incentives, restrictions, exclusions or prohibitions and their implications that apply to this site are indicated below.

Incentive, restriction or prohibition	Implication
Strategic Transmission Corridor-Central corridor	https://screening.environment.gov.za/ScreeningDownloads/DevelopmentZones/GNR_350_of_13_April_2017.pdf

Map indicating proposed development footprint within applicable development incentive, restriction, exclusion or prohibition zones



Proposed Development Area Environmental Sensitivity

The following summary of the development site environmental sensitivities is identified. Only the highest environmental sensitivity is indicated. The footprint environmental sensitivities for the proposed development footprint as identified, are indicative only and must be verified on site by a suitably qualified person before the specialist assessments identified below can be confirmed.

Theme	Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
Agriculture Theme			X	
Animal Species Theme			X	

Aquatic Biodiversity Theme				X
Archaeological and Cultural Heritage Theme		X		
Civil Aviation Theme		X		
Plant Species Theme		X		
Defence Theme			X	
Terrestrial Biodiversity Theme	X			

Specialist assessments identified

Based on the selected classification, and the environmental sensitivities of the proposed development footprint, the following list of specialist assessments have been identified for inclusion in the assessment report. It is the responsibility of the EAP to confirm this list and to motivate in the assessment report, the reason for not including any of the identified specialist study including the provision of photographic evidence of the site situation.

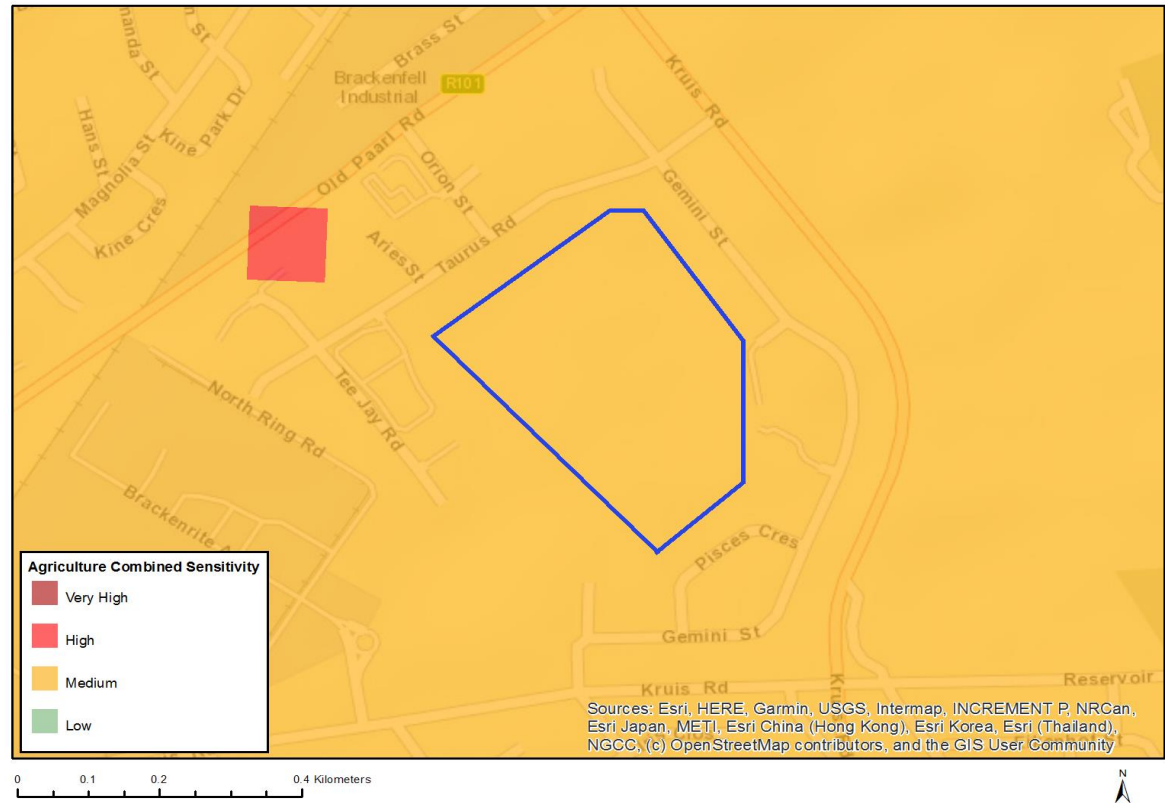
N o	Specialist assessment	Assessment Protocol
1	Agricultural Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_Agriculture_Assessment_Protocols.pdf
2	Landscape/Visual Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
3	Archaeological and Cultural Heritage Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
4	Palaeontology Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
5	Terrestrial Biodiversity Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_Terrestrial_Biodiversity_Assessment_Protocols.pdf
6	Aquatic Biodiversity Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_Aquatic_Biodiversity_Assessment.pdf
7	Hydrology	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols

	Assessment	/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
8	Noise Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_Noise_Impacts_Assessment_Protocols.pdf
9	Traffic Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
10	Geotechnical Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
11	Climate Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
12	Health Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
13	Socio-Economic Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
14	Ambient Air Quality Impact Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
15	Seismicity Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
16	Plant Species Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf
17	Animal Species Assessment	https://screening.environment.gov.za/ScreeningDownloads/AssessmentProtocols/DraftGazetted_General_Requirement_Assessment_Protocols.pdf

Results of the environmental sensitivity of the proposed area.

The following section represents the results of the screening for environmental sensitivity of the proposed site for relevant environmental themes associated with the project classification. It is the duty of the EAP to ensure that the environmental themes provided by the screening tool are comprehensive and complete for the project. Refer to the disclaimer.

MAP OF RELATIVE AGRICULTURE THEME SENSITIVITY

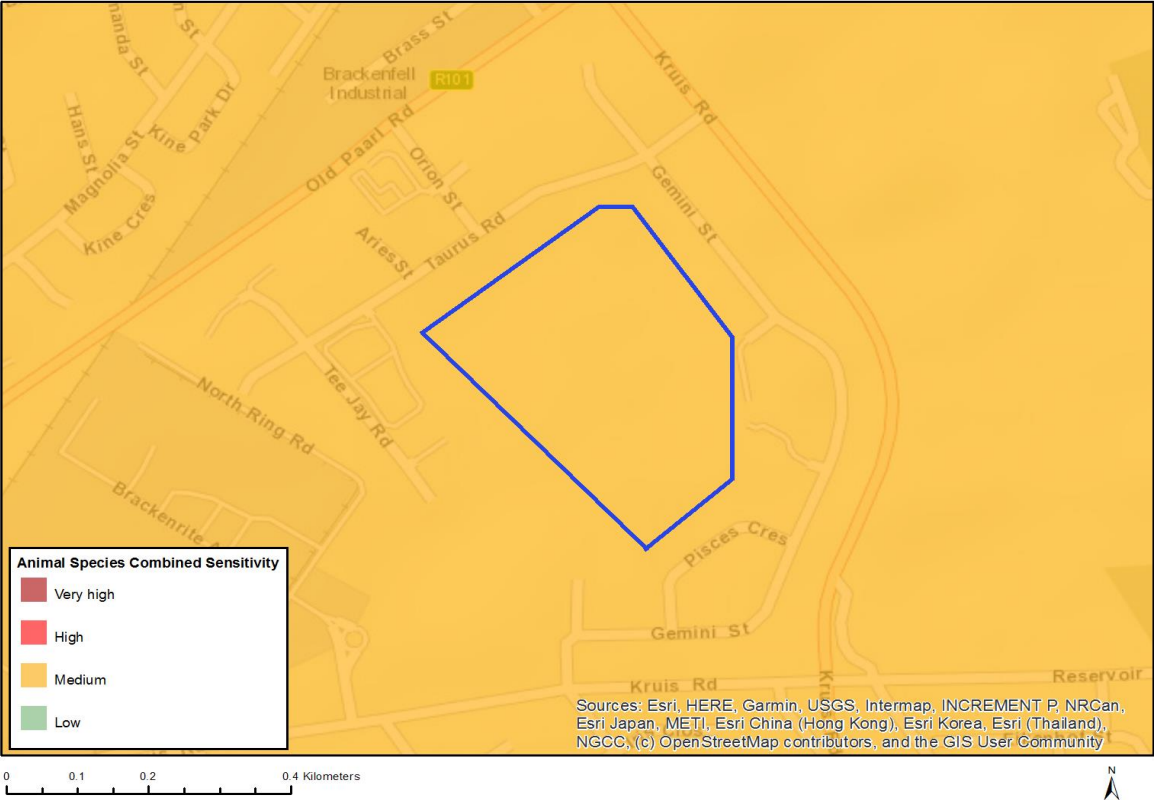


Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
		X	

Sensitivity Features:

Sensitivity	Feature(s)
Medium	Land capability;06. Low-Moderate/07. Low-Moderate/08. Moderate

MAP OF RELATIVE ANIMAL SPECIES THEME SENSITIVITY



Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
		X	

Sensitivity Features:

Sensitivity	Feature(s)
Medium	Insecta-Torynesis mintha piquetbergensis
Medium	Sensitive species 2
Medium	Sensitive species 7
Medium	Insecta-Aloeides egerides
Medium	Insecta-Kedestes lenis lenis

MAP OF RELATIVE AQUATIC BIODIVERSITY THEME SENSITIVITY

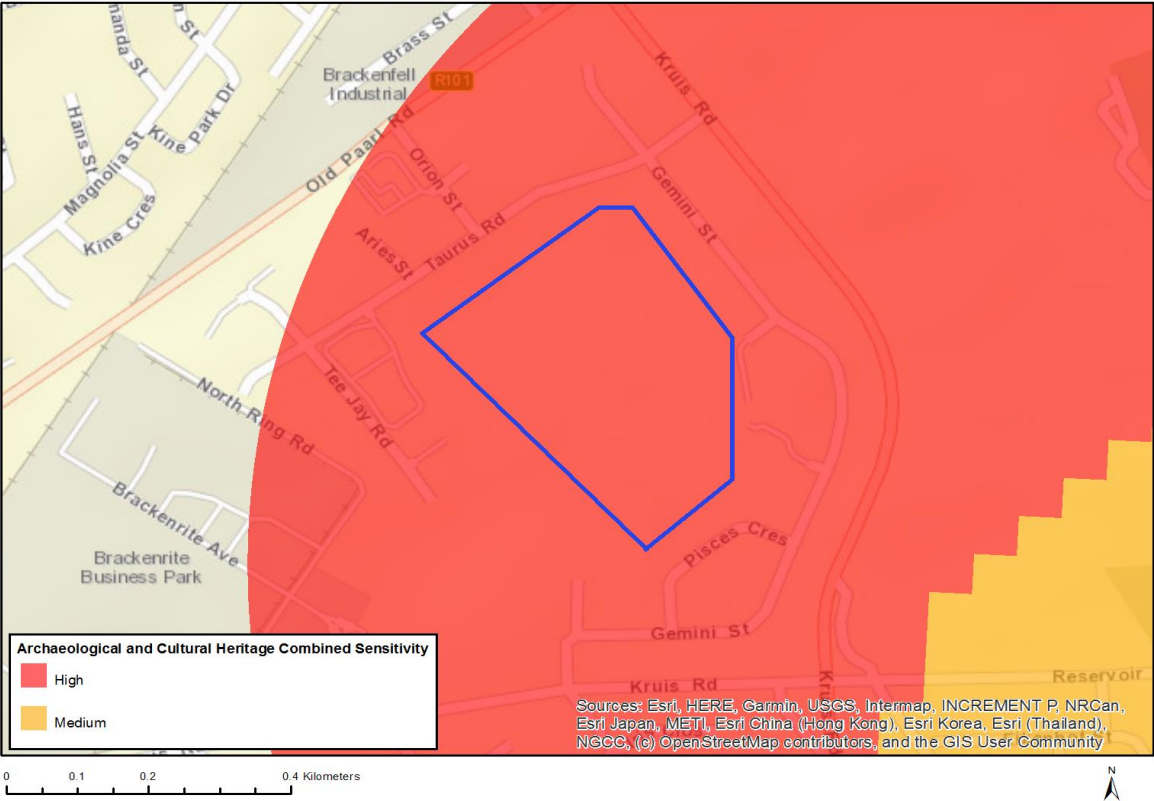


Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
			X

Sensitivity Features:

Sensitivity	Feature(s)
Low	Low Sensitivity Areas

MAP OF RELATIVE ARCHAEOLOGICAL AND CULTURAL HERITAGE THEME SENSITIVITY

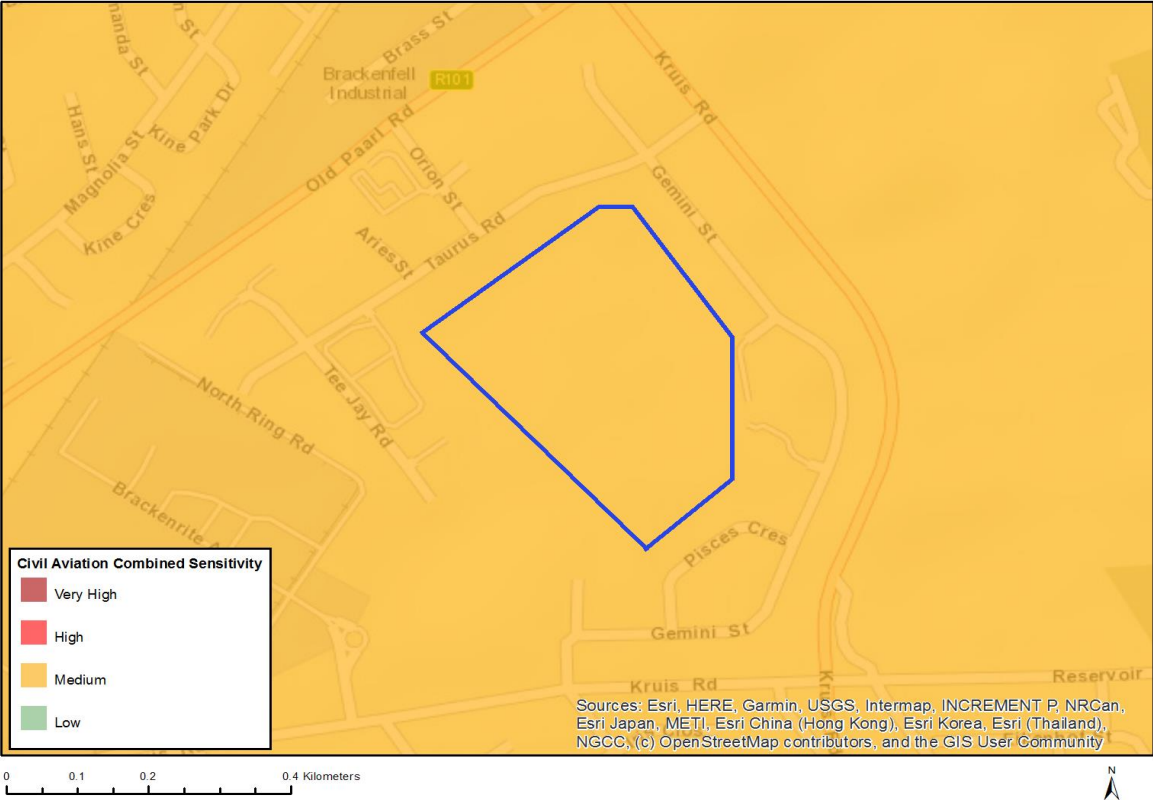


Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
	X		

Sensitivity Features:

Sensitivity	Feature(s)
High	Within 1 km of a protected area

MAP OF RELATIVE CIVIL AVIATION THEME SENSITIVITY

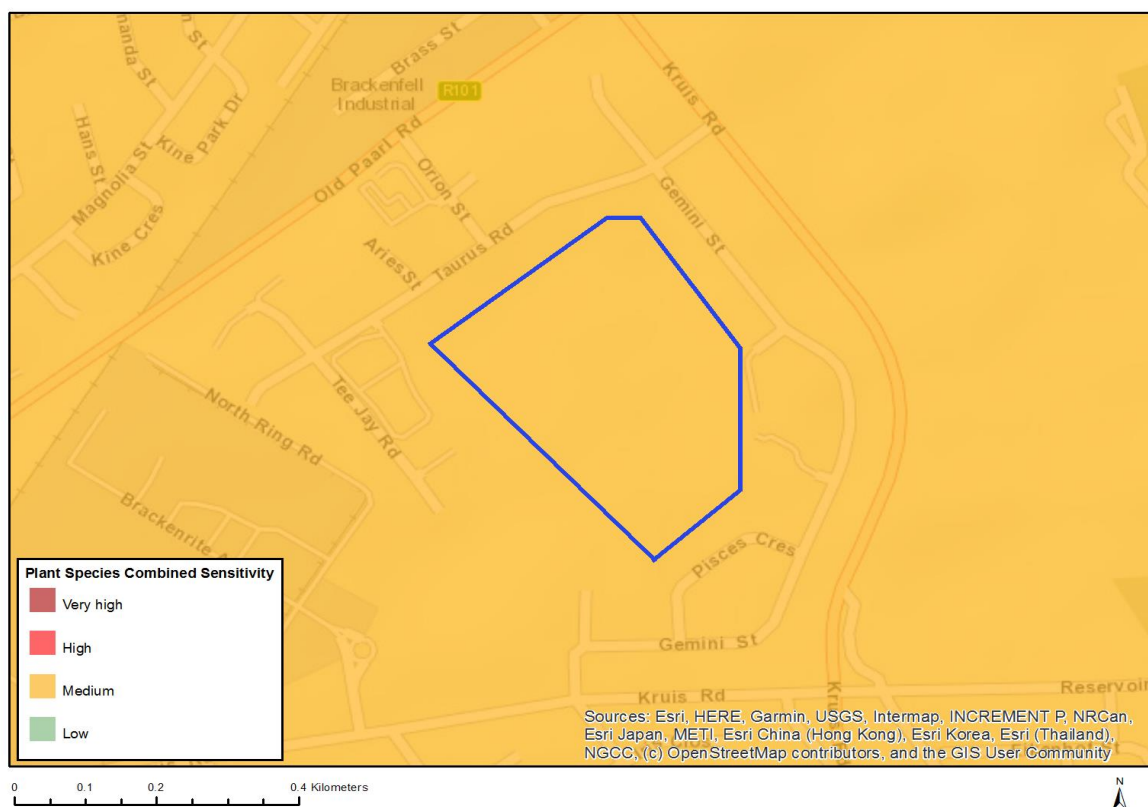


Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
	X		

Sensitivity Features:

Sensitivity	Feature(s)
High	Within 15 km of a civil aviation radar
High	Between 8 and 15 km from a major civil aviation aerodrome
Medium	Between 8 and 15 km of other civil aviation aerodrome

MAP OF RELATIVE PLANT SPECIES THEME SENSITIVITY



Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
	X		

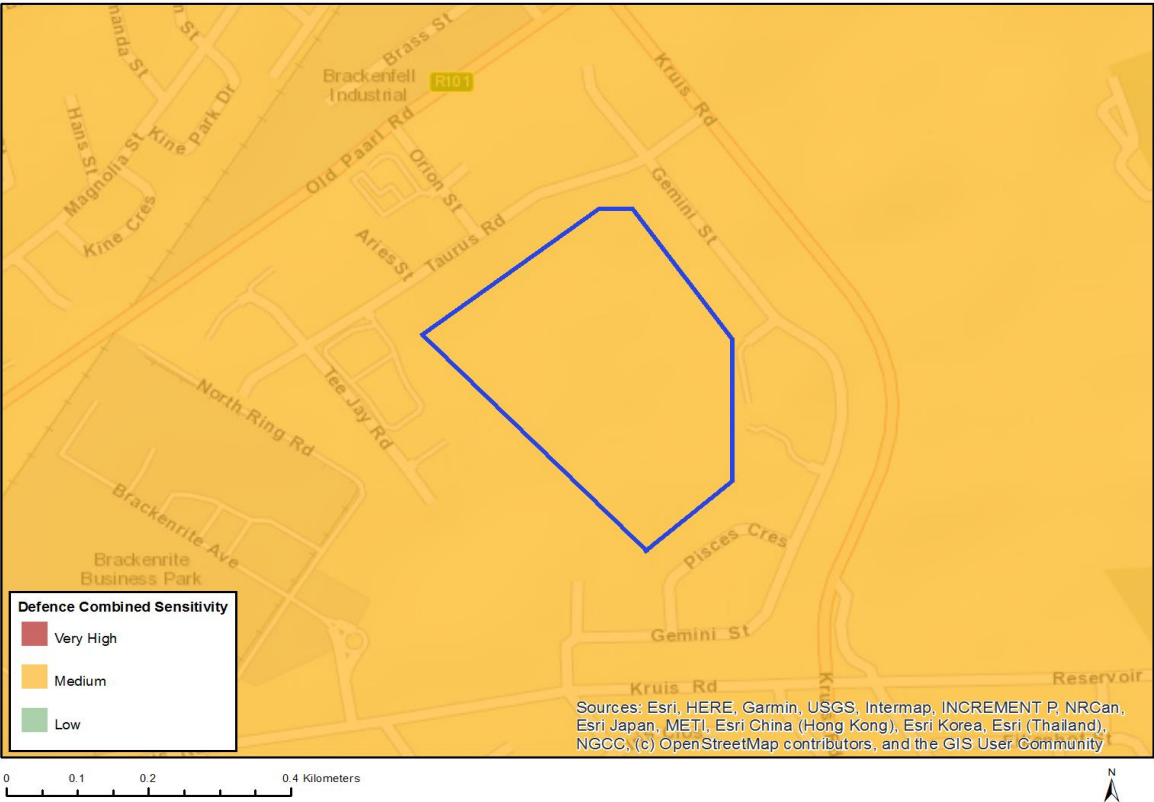
Sensitivity Features:

Sensitivity	Feature(s)
High	<i>Aspalathus tyloides</i>
High	<i>Leucospermum hypophyllocarpodendron</i> subsp. <i>canaliculatum</i>
High	<i>Protea scolymocephala</i>
High	<i>Serruria aemula</i>
Medium	<i>Microdon capitatus</i>
Medium	<i>Pentameris bachmannii</i>
Medium	<i>Pentameris pholiuroides</i>
Medium	<i>Antimima aristulata</i>
Medium	<i>Lobostemon capitatus</i>
Medium	<i>Echiostachys incanus</i>
Medium	Sensitive species 76
Medium	<i>Geissorhiza brehmii</i>
Medium	<i>Geissorhiza humilis</i>
Medium	Sensitive species 457
Medium	Sensitive species 458
Medium	Sensitive species 464
Medium	Sensitive species 447
Medium	Sensitive species 642
Medium	Sensitive species 590
Medium	<i>Pauridia canaliculata</i>
Medium	<i>Ruschia geminiflora</i>
Medium	<i>Drosanthemum hispidifolium</i>

Medium	<i>Oxalis natans</i>
Medium	<i>Cephalophyllum parviflorum</i>
Medium	<i>Erica bolusiae</i> var. <i>bolusiae</i>
Medium	Sensitive species 364
Medium	Sensitive species 351
Medium	Sensitive species 683
Medium	<i>Adenogramma rigida</i>
Medium	<i>Wachendorfia brachyandra</i>
Medium	<i>Hessea cinnamomea</i>
Medium	<i>Isoetes capensis</i>
Medium	<i>Isolepis inconspicua</i>
Medium	<i>Trianoptiles solitaria</i>
Medium	<i>Cannomois arenicola</i>
Medium	<i>Elegia prominens</i>
Medium	<i>Elegia verreauxii</i>
Medium	<i>Restio impolitus</i>
Medium	<i>Restio rigoratus</i>
Medium	<i>Restio pratensis</i>
Medium	<i>Restio duthieae</i>
Medium	<i>Restio micans</i>
Medium	<i>Restio paludosus</i>
Medium	Sensitive species 306
Medium	Sensitive species 294
Medium	Sensitive species 286
Medium	Sensitive species 287
Medium	<i>Amphithalea ericifolia</i> subsp. <i>erecta</i>
Medium	<i>Argyrobium velutinum</i>
Medium	Sensitive species 718
Medium	<i>Pterygodium cruciferum</i>
Medium	<i>Xiphotheca lanceolata</i>
Medium	<i>Xiphotheca reflexa</i>
Medium	<i>Gnidia spicata</i>
Medium	<i>Passerina paludosa</i>
Medium	<i>Lachnaea grandiflora</i>
Medium	<i>Lachnaea uniflora</i>
Medium	<i>Lachnaea capitata</i>
Medium	<i>Metalasia capitata</i>
Medium	<i>Steirodiscus tagetes</i>
Medium	<i>Cotula pusilla</i>
Medium	<i>Athanasia capitata</i>
Medium	<i>Arctotis angustifolia</i>
Medium	<i>Psoralea glaucina</i>
Medium	<i>Psoralea alata</i>
Medium	<i>Arctotheca forbesiana</i>
Medium	<i>Diosma dichotoma</i>
Medium	<i>Agathosma corymbosa</i>
Medium	<i>Macrostylis villosa</i> subsp. <i>villosa</i>
Medium	<i>Macrostylis cassiopoides</i> subsp. <i>dregeana</i>
Medium	<i>Cliffortia marginata</i>
Medium	<i>Cliffortia ericifolia</i>
Medium	<i>Cliffortia hirta</i>
Medium	<i>Liparia splendens</i> subsp. <i>splendens</i>
Medium	<i>Limonium purpuratum</i>
Medium	<i>Muraltia brevicornu</i>
Medium	<i>Muraltia decipiens</i>
Medium	<i>Muraltia macropetala</i>
Medium	<i>Muraltia mitior</i>
Medium	<i>Aspalathus lebeckioides</i>
Medium	<i>Aspalathus araneosa</i>
Medium	<i>Aspalathus recurva</i>

Medium	<i>Aspalathus retroflexa</i> subsp. <i>bicolor</i>
Medium	<i>Aspalathus tylodes</i>
Medium	Sensitive species 547
Medium	Sensitive species 512
Medium	<i>Phyllica harveyi</i>
Medium	<i>Rafnia angulata</i> subsp. <i>humilis</i>
Medium	<i>Podalyria sericea</i>
Medium	<i>Podalyria argentea</i>
Medium	<i>Skiatophytum skiatophytoides</i>
Medium	<i>Thesium ecklonianum</i>
Medium	<i>Aponogeton angustifolius</i>
Medium	<i>Leucadendron verticillatum</i>
Medium	<i>Leucadendron cinereum</i>
Medium	<i>Leucadendron corymbosum</i>
Medium	<i>Leucadendron floridum</i>
Medium	<i>Leucadendron lanigerum</i> var. <i>lanigerum</i>
Medium	<i>Leucadendron levisanus</i>
Medium	<i>Leucadendron linifolium</i>
Medium	<i>Leucospermum hypophyllocarpodendron</i> subsp. <i>canaliculatum</i>
Medium	<i>Leucospermum hypophyllocarpodendron</i> subsp. <i>hypophyllocarpodendron</i>
Medium	<i>Leucospermum rodolentum</i>
Medium	<i>Protea scolymocephala</i>
Medium	<i>Protea burchellii</i>
Medium	<i>Diastella proteoides</i>
Medium	<i>Serruria brownii</i>
Medium	<i>Serruria cyanoides</i>
Medium	<i>Serruria aemula</i>
Medium	<i>Serruria trilopha</i>
Medium	<i>Lampranthus amoenus</i>
Medium	<i>Lampranthus leptaleon</i>
Medium	<i>Lampranthus scaber</i>
Medium	<i>Lampranthus sociorum</i>
Medium	<i>Lampranthus stenopetalus</i>
Medium	<i>Lampranthus stenus</i>
Medium	<i>Lampranthus tenuifolius</i>
Medium	<i>Lampranthus debilis</i>
Medium	<i>Lampranthus filicaulis</i>
Medium	<i>Lampranthus glaucus</i>

MAP OF RELATIVE DEFENCE THEME SENSITIVITY

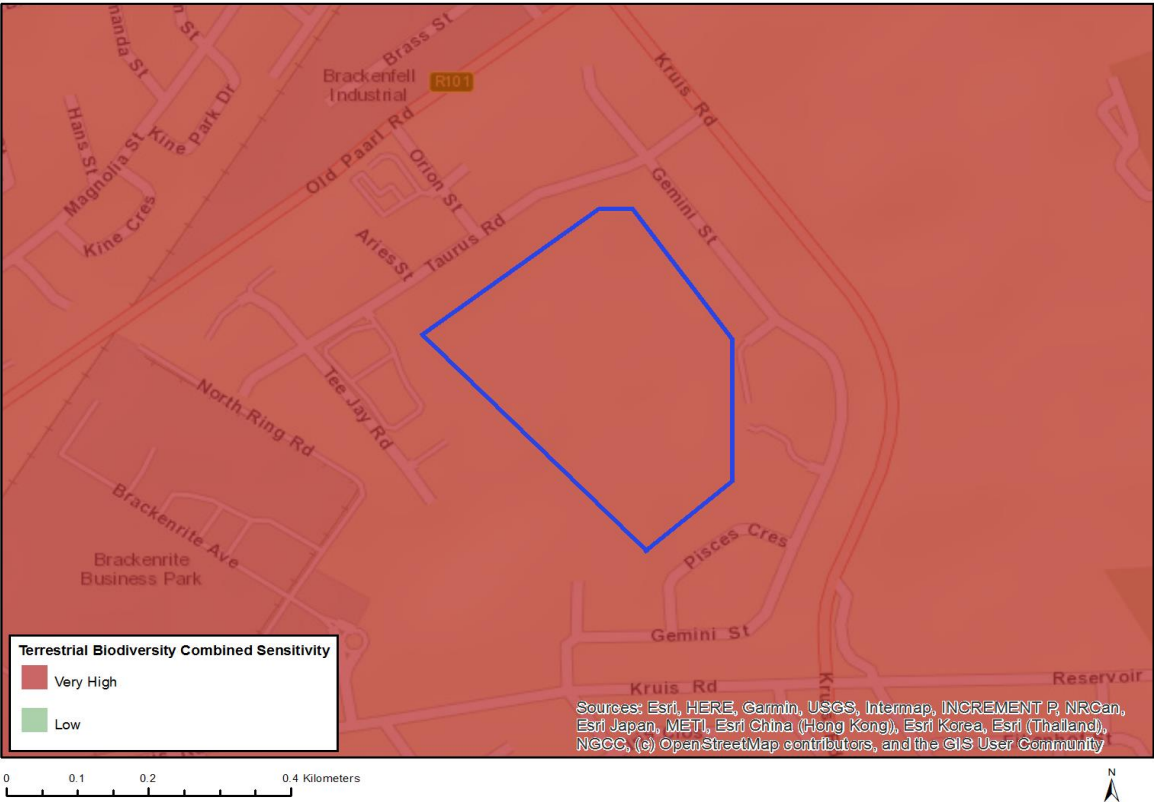


Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
		X	

Sensitivity Features:

Sensitivity	Feature(s)
Medium	Defence Site

MAP OF RELATIVE TERRESTRIAL BIODIVERSITY THEME SENSITIVITY



Very High sensitivity	High sensitivity	Medium sensitivity	Low sensitivity
X			

Sensitivity Features:


Sensitivity	Feature(s)
Very High	Critically endangered ecosystem

APPENDIX 12

Undertaking under Oath / Affirmation

APPENDIX 12
UNDERTAKING UNDER OATH/ AFFIRMATION

I, Claudette Muller, swear under oath / affirm that all the information submitted or to be submitted for the purposes of this application is true and correct.


Signature of the Environmental Assessment Practitioner

Chand Environmental Consultants
Name of Company

7/12/2021
Date


Signature of the Commissioner of Oaths

Fazline Mills

2021.12.07
Date



APPENDIX 13

CV of the EAP

CLAUDETTE MULLER

CURRICULUM VITAE

KEY QUALIFICATIONS

Claudette is a senior environmental consultant and Environmental Assessment Practitioner (EAP) at Chand. She has a BSc Honours degree in Environmental Science from Rhodes University and an interdisciplinary Master's degree in Environment, Society and Sustainability from the University of Cape Town. Her extensive academic and research history in both natural and social science straddle the fields of ecology, biodiversity-use-and-trade, climate change and environmental law. This diverse background has cultivated a holistic approach to solving developmental challenges situated at the social, economic, environmental nexus, particularly in the South African context. She holds extensive knowledge of Integrated Environmental Management and is well versed in environmental legislation and associated environmental and planning processes.

She has managed a number of Basic Assessment processes and has co-authored Scoping Reports. She is proficient in report writing, synthesis of technical reports, management of specialists and leading public participation processes.

She holds 4 years of experience in environmental compliance monitoring and auditing and has fulfilled the role of Environmental Control Officer (ECO) during the construction phase for a range of development projects.

Other key competencies include:

- High level environmental screening and legal reviews;
- Compilation of Environmental Management Programmes (EMPrs);
- Compilation of Environmental Impact Assessment (EIA) applicability checklists;
- Amendment applications for Environmental Authorisations; and
- The management and compilation of Water Use License Applications (WULAs) and water related permitting.

APPLICABLE PROJECT EXPERIENCE

BASIC ASSESSMENTS AND SCOPING & EIAs

Basic Assessment for the City of Cape Town IRT Phase 2A E01 Trunk Route, Gugulethu & Manenberg
Co-author of Basic Assessment Report and management of public participation process (ongoing)

Basic Assessment for the Proposed Development of a Block of Flats (Azalea) in Victoria Road, Clifton
Lead EAP responsible for management of Basic Assessment Process (ongoing)

Basic Assessment for the Servicing of the Founder's Estates, Boschendal
Lead EAP responsible for management of Basic Assessment Process (ongoing)

Basic Assessment for the New Retreat Residential Development at Boschendal Estate

Lead EAP responsible for management of Basic Assessment Process (ongoing)

Basic Assessment for a Waste Management Licence Application for the Everite Asbestos Waste Site

Lead EAP responsible for management of Basic Assessment Process (ongoing)

Basic Assessment for The Point – Kalk Bay: Proposed Rehabilitation of the Parking and Recreational Area

Assistance in the compilation of a Basic Assessment Report, review and synthesis of specialist reports, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process.

Basic Assessment for the Proposed Establishment of the King David Warehousing, Industrial and Business Development on Erf 112674, Cape Town and the Remainder of Erf 1181, Matroosfontein

Assistance in the compilation of the Basic Assessment Report including review and synthesis of specialist reports.

Proposed Phase 2 Extension of Houmoed Avenue and Upgrading of Masiphumelele Informal Settlement, Sunnyside and Masiphumelele, Cape Town

Assistance in the compilation of the Basic Assessment Report and management of the public participation process.

Scoping and EIA process for a proposed Gas (LPG) to Power Project, Saldanha

Compilation of Environmental Application and co-author of Scoping Report.

PUBLIC PARTICIPATION PROCESSES

Basic Assessment for the Proposed Phase 1 Extension of Houmoed Avenue, from Buller Louw Drive to Lekkerwater Road, Sunnyside, Cape Town

Management of the Public Participation Process, including liaison with I&APs and compilation of Comments and Responses report.

Basic Assessment for the Proposed Phase 2 Extension of Houmoed Avenue & Upgrading of Masiphumelele Informal Settlement

Management of the Public Participation Process, including liaison with I&APs and compilation of Comments and Responses report.

The Upgrade of Kommetjie Road, Sunnyside, Cape Town

Management of the Public Participation Process, including liaison with I&APs and project team members during the construction phase.

The Upgrade of Main Road, Kalk Bay, Cape Town

Public Liaison Officer during the construction phase.

ENVIRONMENTAL MONITORING AND AUDITING

Environmental Control Officer (ECO), The Twelve Apostles Reconfiguration of a Helipad and construction of Two Gazebos

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Plan.

Environmental Control Officer (ECO), King Air Mixed Use Development, Matroosfontein

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Programme.

Environmental Control Officer (ECO), Building works for the Aramex Warehouse at Richmond Park

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Programme.

Environmental Control Officer (ECO), Construction of a Traffic Circle and sidewalks at Teubes Road/Kommetjie Road. Kommetjie

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Programme.

Environmental Control Officer (ECO), Residential Development on a Portion of Leeukoppie Estate, Hout Bay, Cape Town

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Programme.

Environmental Control Officer (ECO), Expansion of the Evergreen Retirement Village by 22 Apartments, Bergvliet, Cape Town

ECO for the monitoring, auditing and reporting of construction activities including the compilation of required Method Statements in accordance with the conditions of the planning authorisation.

Environmental Control Officer (ECO), Expansion of the Evergreen Retirement Village by 13 Houses, Bergvliet, Cape Town

ECO for the monitoring, auditing and reporting of construction activities including the compilation of required Method Statements in accordance with the conditions of the planning authorisation.

Environmental Control Officer (ECO), Construction of IRT Phase 2A Electric Bus Charge Facility at Foreshore Staging Area and Depot Enabling Works: Khayelitsha and Mitchell's Plain.

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Programme.

Environmental Audit of the Residential Development on a Portion of Leeukoppie Estate, Hout Bay, Cape Town

Conducting a six-month environmental compliance audit and assessment of the EMP for the construction phase of the development.

Environmental Audit of the Delft Symphony Housing Project, Delft, Cape Town

Conducting an environmental compliance audit for the operational phase of the development.

Environmental Audit of the 12 Apostles Hotel and Spa, Camps Bay, Cape Town

Conducting environmental compliance audits for the operational phase of the development.

Environmental Audit of the Avedia Energy Liquid Petroleum Gas (LPG) Handling Gas Facility, Saldanha.

Conducting an environmental compliance audit for the operational phase of the development.

WATER USE LICENCES AND WATER RELATED PERMITTING

The Proposed Pelican Park Phase 2 Housing Development

Compilation of Water Use Licence Application (WULA) and synthesis of specialist reports.

Proposed Phase 2 Extension of Houmoed Avenue and Upgrading of Masiphumelele Informal Settlement, Sunnyside and Masiphumelele, Cape Town

Compilation of Water Use Licence Application (WULA) including review and synthesis of specialist reports.

Proposed Phase 1 Extension of Houmoed Avenue, Sunnyside Cape Town

Compilation of Water Use Licence Application (WULA) including review and synthesis of specialist reports.

The Stellenbosch Square Alternative Water Supply System, Stellenbosch

Compilation of Water Use Licence Application (WULA) and synthesis of specialist reports.

Paul Roos Gymnasium Alternative Water Supply System, Stellenbosch

Compilation of Water Use Licence Application (WULA) and synthesis of specialist reports.

Water Management Strategy for the Hospitality Property Fund and Tsogo Sun Hotels

Compilation of necessary permits and water use authorisations for different water-use management measures at various hotel properties in Cape Town/ Nelson Mandela Bay/Bloemfontein, including liaison with authorities and management of specialists,

The Proposed Spatial Development Framework for the Wellington Industrial Precinct, Erf 34, Wellington

Compilation of Water Use Licence Application (WULA) including review and synthesis of specialist reports.

The 12 Apostles Hotel & Spa water treatment facility; 12 Apostles Hotel

Compilation of Water Use Licence Application (WULA) and management of Water Services Intermediary (WSI) application process with the City of Cape Town.

The Implementation of Alternative Water Supply Facilities at various Growthpoint Properties; Growthpoint

Compilation of Water Use Licence Application (WULA) and management of Water Services Intermediary (WSI) application process with the City of Cape Town.

The Western Cape Government: Transport & Public Works Department Business Continuity Plan in Response to the Cape Town Drought

Management of Water Services Intermediary (WSI) application process for alternative water supply systems at fourteen critical infrastructure sites.

The CTICC Reverse Osmosis (RO) Plant; CTICC

Compilation of Water Use Licence Application (WULA), Water Services Intermediary (WSI) application and Coastal Waters Discharge Permit (CWDP) including liaison with authorities and management of specialists.

The Somerset Mall Reverse Osmosis (RO) Plant; Hyprop Investments

Compilation of Water Use Licence Application (WULA) and management of Water Services Intermediary (WSI) application process with the City of Cape Town.

EIA APPLICABILITY CHECKLISTS & AMENDMENT APPLICATIONS

EIA Applicability Checklist for the Proposed Nautica Development, Granger Bay Harbour.

EIA Applicability Checklist for a Proposed Mixed-Use Zoning Application at The Island, Paarden Eiland

EIA Applicability Checklist for the Proposed City of Cape Town IRT Trunk Route: E2.

Amendment Application for the Kommetjie Central Development Environmental Authorisation.

ENVIRONMENTAL SCREENING

Desktop Environmental Screener for the Proposed Upgrade of various NMT facilities by Stellenbosch Municipality.

Desktop Environmental Screener for the Proposed Storage of Dangerous Goods at Senmin, Sasolburg.

Desktop Environmental Screener for a Proposed High-Density Residential Development on various erven, Hout Bay.

Desktop Environmental Screener for a Proposed Blue Berry Farm on Boschendal Estate

Desktop Environmental Screener for the development of a Place of Worship at 2 Liesbeek Avenue



ACADEMIC RECORD

MPhil in Environment, Society and Sustainability (University of Cape Town)

BSc (Honours) in Environmental Science (*cum laude*) (Rhodes University)

BSc in Biodiversity and Ecology (Stellenbosch University)

PUBLICATIONS

Perceptions of Climate Change and Barriers to Adaptation amongst Commonage and Commercial Livestock Farmers in the Semi-arid Easter Cape Karoo, C Muller & SE Shackleton, *African Journal of Range and Forage Science* Vol. 31:1, 2014)



MARIELLE PENWARDEN

CURRICULUM VITAE

KEY QUALIFICATIONS

Marielle Penwarden is an environmental consultant at Chand Environmental Consultants. She has nine years' post-graduate work experience and is proficient in project/environmental management, scientific reporting and data research and analysis. She has been exposed to a variety of projects, which have allowed her to develop key strengths around project management and various environmental authorisation processes. Prior to working for Chand, she was an Environmental Scientist at GIBB Pty Ltd, where she worked in the Mega Projects division which was focussed on Environmental Impact Assessments for large-scale infrastructure and South African Strategic Infrastructure Projects (SIP) projects. Prior to her work in environmental science, she was employed in educational marketing, sales, administration and teaching for six years.

She possesses a Bachelor of Science Honours in Environmental Management, with undergraduate majors in Zoology and Geography. She is also well versed in MS Office applications such as Excel, Word and MS Project.

Her key strengths include:

- **Environmental Impact Assessment (EIA)** of small, medium and large-scale infrastructure projects, including public participation processes, report writing and technical input. The management (and assistance with management) within Environmental Assessments for a variety of different projects, including energy generation (nuclear and renewable energy) projects. She is also familiar with NEMA Principles, Guidelines and legislated processes as well as other environmental processes such as S24G Applications, Basic Assessments, Air Emissions Licences and feasibility assessments.
- **Project management** of aspects of medium and large-scale infrastructural and environmental projects such as project planning, task management and delegation, financial management and budget preparation as well as contract administration and general reporting. Marielle is also well versed in the application of the ISO9001 Quality Management System.
- **Environmental reviews, synthesis, synopsis and drafting** of a range of environmental and specialist reports.
- **Team Leadership**

APPLICABLE PROJECT EXPERIENCE

CHAND ENVIRONMENTAL CONSULTANTS (December 2013- Present)

SCOPING AND ENVIRONMENTAL IMPACT ASSESSMENT & RELATED PUBLIC PARTICIPATION PROCESSES:

S&EIA for the Proposed Sand Mining on Erf 21202, Strandfontein

Compilation of the Application form, Scoping Report, Environmental Impact Report, liaison with the project team and authorities, co-ordination of five specialists and management of the public participation process (which included a one-on-one meeting, focus group meetings with key stakeholders and a public meeting) in addition to the financial and project administration of the process.

Opportunities and Constraints Analysis and S&EIA for the Proposed Biogas Plant at the CSIR, Lynwood

Compilation of an Opportunities and Constraints Analysis in support of site selection- the report incorporated the findings of six specialists. Compilation of the Notice of Intent, Application form,

Scoping Report, Environmental Impact Report, liaison with the project team and authorities, co-ordination of four specialists and management of the public participation process (which includes focus group meetings and an Open House event) in addition to the financial and project administration of the process.

BASIC ASSESSMENT & RELATED PUBLIC PARTICIPATION PROCESSES:

Basic Assessment for the development of Non-Motorised Transport Facilities along Spaanschemat River Road, Constantia

Compilation of the final Basic Assessment Report, liaison with the project team and authorities, co-ordination of freshwater specialists and management of the public participation process.

Basic Assessment for the Proposed Mitchells Plain and Khayelitsha Bus Depots on RE/18370 along Spine Road, Khayelitsha

Completion of the Notice of Intents, Application Forms, Basic Assessment Reports and EMPs, arranging focus group meetings, management of specialists, liaison with large project team as well as management of the Basic Assessment process and project finances. The EMP included aspects on sustainable management of resources.

Basic Assessment for The Point – Kalk Bay: Proposed Rehabilitation of the Parking and Recreational Area

Assistance in the compilation of a Basic Assessment Report, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process in addition to the financial and project administration of the process.

Basic Assessment for the Proposed Establishment of the King David Warehousing, Industrial and Business Development on Erf 112674, Cape Town and the Remainder of Erf 1181, Matroosfontein

Compilation of Notice of intent, integration into a large multidisciplinary project team, liaison and meetings with I&APs, management of a number of specialists (hydropedology, freshwater, botanical, heritage, and sub-surface contamination), Application form, and liaison with authorities. Also included management of the public participation process (which included (a one-on-one meeting and focus group meetings with key stakeholders) in addition to the financial and project administration of the process. The EMP included aspects on sustainable management of resources. Marielle also managed financial and timeline aspects of the project.

Basic Assessment for the Development of a Service Station, Faure

The development entailed a service station, convenience store, diner and associated infrastructure at Cape Town Film Studios, Faure. Tasks include compilation of the Application Form and Basic Assessment Reports, liaison with the project team and authorities, co-ordination of five specialists and assistance with the management of the public participation process.

Basic Assessment for the Demolition of the Clovelly Station Platform

Management of the process, compilation of the Application Form and Basic Assessment Report, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process.

Basic Assessment and General Authorisation for a Residential Development and Stream Canalisation, Kylemore

Compilation of a Basic Assessment Report and General Authorisation Application, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process.

Basic Assessment for the Expansion and Redevelopment of Wellington Industrial Park

Completion of the Notice of Intent, Application Form, Basic Assessment Report and EMP, arranging two focus group meetings, one open house, management of specialists (visual, freshwater and botanical), liaison with large project team as well as management of the Basic Assessment process and project finances. The EMP included aspects on sustainable management of resources.

Basic Assessment for the Development of a waste to Biogas facility in Saldanha

Assistance in the compilation of a Basic Assessment Report, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process.

Basic Assessment for the Bertha Foundation's New Retreat

Redevelopment of historic worker cottages for accommodation within a wine farm, near a nature reserve with a river and wetland on the site and a complicated history of removals and the need for redress- completion of notice of intent, stakeholder engagement plan, management of botanist, freshwater ecologist and soil scientist, working with a multi-disciplinary team, research and writing the Basic Assessment report, and management of budget and finances. Also includes a water use license/General Authorisation application in terms of the water act. *Currently underway*

Basic Assessment for Apartment block on Erf 29 & 30, Clifton

Development of an apartment block within the coastal protection zone- completion of notice of intent, stakeholder engagement plan, management of botanist, freshwater ecologist, electrical engineer, civil engineer, transport engineer, geotechnical engineer, and visual specialist, working with a multi-disciplinary team, research and writing the Basic Assessment report, and management of budget and finances. *Currently underway.*

Basic Assessment for Apartment Block in Camps Bay

Development of an apartment block within the coastal protection zone- This project is in its early stages and so far, Marielle has written the terms of reference for a variety of specialists and provided advisory services.

Basic Assessment for the proposed refurbishment and expansion of the Agterdam cottages and associated infrastructure on portion 4 of the Farm No. 1674 Boschendal

Compilation of the Background Information Document, Notice of Intent, Application form, Basic Assessment Report, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process (which included focus group meetings with farm workers) in addition to the financial and project administration of the process. It would also include significant stakeholder engagement with additional meetings.

Basic Assessment and Waste Management License for the Decommissioning and re-development of Waste Sorting and Baling Facility

Compilation of the Application form, Basic Assessment Report, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process. *On hold.*

Basic Assessment and Waste Management License for the Decommissioning and Redevelopment of Everite Asbestos Waste Consolidation Site, Brackenfell

Compilation of the Basic Assessment Report, Application forms, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process. *Currently underway.*

Basic Assessment for the development of Non-Motorised Transport Facilities along Spaanschemat River Road, Constantia

Compilation of the final Basic Assessment Report, liaison with the project team and authorities, co-ordination of freshwater specialists and management of the public participation process.

Basic Assessment for the proposed IRT Trunk Lane along Edith Stephens wetlands park

Completion of Notice of Intent, liaison with authorities, Application Form, Basic Assessment Report, management of freshwater and botanical specialist, strategic public engagements, integration into a large multi-disciplinary project team as well as management of budget and project finances. *Currently underway.*

Basic Assessment for the development of residential and recreational use on Erf 212 and Erf 242, Bishopscourt for the Protea Village land claim

Significant stakeholder engagement through BID drafting and distribution, running an Open House event (including the drafting of the posters for the event and attending the event to engage I&APs), focus group meetings with adjacent landowners as well as key biophysical and heritage interest groups, engaging with a large multi-disciplinary team, incorporation of many specialist reports (i.e. heritage, visual, civil services, town planning, freshwater, groundwater, risk, soils, and geotechnical) into the

drafting of the Basic Assessment Report. Also includes consideration of contaminated land issues and a water use license and General Authorisation application. *Currently underway.*

Basic Assessment Process for the proposed Azalea Development on Erven 46 and 47, Clifton

Completion of the Notice of Intent, Application Form, Basic Assessment Report and EMPr, arranging and facilitate a one-on-one meeting with the City of Cape Town, management of specialists (Freshwater, visual, heritage, groundwater and botanical), liaison with large project team, authorities and interested an affected parties as well as management of the project and project finances. *Currently underway.*

Basic Assessment for the Development of a Chairlift, North-West Province

The development entailed a chairlift Sun City, North West Province. Tasks include compilation of the Application Form and Basic Assessment Reports, liaison with the project team and authorities, co-ordination of four specialists and assistance with the management of the public participation process. *On hold.*

Basic Assessment for the Redevelopment of the Somerset Precinct, Green Point

Compilation of the Application Form and Basic Assessment Report, liaison with the project team and authorities, co-ordination of specialists and assistance with the management of the public participation process. *Project stopped as regulations changed and Listed Activities were no longer triggered.*

Basic Assessment for the Proposed Development of a Housing Development on Steenberg Farm

Compilation of the Background Information Document, Notice of Intent, Application form, Basic Assessment Report, liaison with the project team and authorities, co-ordination of specialists and management of the public participation process (which included focus group meetings with key stakeholders) in addition to the financial and project administration of the process. It would also include significant stakeholder engagement with additional meetings. *On hold.*

PUBLIC PARTICIPATION PROCESSES:

Public Participation, Maitland Pool Heritage Appeal

Planning and managing the public participation in support of the City of Cape Town's appeal on the Heritage Western Cape decision regarding the demolition of the Maitland Pool. The City was not in agreement with Heritage Western Cape's recommendation that the pool may not be demolished. Furthermore, Heritage Western Cape later required additional public participation to be undertaken which was also carried out by Marielle.

Public Participation, City's Appeal of the Kapteynsklip EIA Decision by DEA&DP

Planning and managing the public participation in support of the City's appeal to the DEA&DP.

Public Participation, Applicant's Appeal on the Wind Farm and Photovoltaic Facility in Beaufort West issued by DEA

Planning and managing the public participation in support of the Applicant's appeal to the DEA.

Public Participation, Applicant's Appeal on the Linking Station and two Power Lines and Substations in Beaufort West issued by DEA

Planning and managing the public participation in support of the Applicant's appeal to the DEA.

Public Participation, Phillipi Horticultural Area Prospecting Permit

Planning and managing the public participation in support of the prospecting application to the Department of Mineral Resources.

Public Participation, Phillipi Horticultural Area North Prospecting Permit

Planning and managing the public participation in support of the prospecting application to the Department of Mineral Resources.

Public Participation, Schaapkraal Prospecting Permit

Planning and managing the public participation in support of the prospecting application to the Department of Mineral Resources.

Public Participation, Environmental Impact Assessment, Saldanha Chlorchem

Management of the public participation process in support of the proposed chlorine, caustic soda and hydrochloric acid facility in Saldanha.

Public Participation for the Proposed Redevelopment of the Kapteinsklip Station Precinct and Mnandi Coastal Node, Mitchells Plain

Managing the distribution of the final EIR and assimilation and updating and submission of a Public Participation Report, also managed distribution of addendum to the final EIR and updating the Public Participation Report.

WATER USE AND WATER SUPPLY AUTHORISATIONS

Boschendal New Retreat

General Authorisation (GA) for the redevelopment of historic worker cottages for accommodation within a wine farm, near a nature reserve with a river and wetland on the site and a complicated history of removals and the need for redress.

Ocean View LSEN School

General Authorisation (GA)/ Water Use Licence Application (WULA) for the development of a school for Learners with Special Educational Needs (LSEN).

Boschendal Pack Shed

General Authorisation (GA)

Western Cape Government: Department of Transport & Public Works

Compilation of Water Safety Plans for fourteen (14) Western Cape Government: Department of Transport & Public Works critical infrastructure sites.

The Proposed IRT Phase 2A Trunk Route: Portion E1, 3.5km of Govan Mbeki Road, Manenberg & Gugulethu

General Authorisation (GA) for partial infilling of a wetland and works on structures in the Lotus Canal for expansion of Govan Mbeki Road for IRT lanes Work Package E1, City of Cape Town (part of a Basic Assessment process)

The Proposed IRT Phase 2A Trunk Route: Portion E3, 3.5km of Govan Mbeki Road, Manenberg & Gugulethu

General Authorisation for partial infilling of a wetland for expansion of Govan Mbeki Road for IRT lanes Work Package E3, City of Cape Town

Protea Village: WULA for Development of Protea Village on Erven 242 and 212, Bishopscourt

Water use Licence (WULA) for infilling and partial infilling of wetlands as well as installation of stormwater outlets into the Liesbeek River in Bishopscourt, Bethel Partners (part of a Basic Assessment process)

Protea Village: GA for Development of Protea Village on Erven 242 and 212, Bishopscourt

General Authorisation (GA) for infilling of wetlands in Bishopscourt, Bethel Partners (part of a Basic Assessment process)

The Proposed Development of Wellington Industrial Park; Drakenstein Municipality.

Compilation of Water Use Licence Application (WULA) including review and synthesis of specialist reports.

The Proposed Development of a Private Residential Estate on Farm 124/39 Kylemore, Stellenbosch

General Authorisation for works proposed on a river in Kylemore; EZ Trade (part of a Basic Assessment process)

Water Use License and a General Authorisation for the development of housing on Erf 212 and Erf 242 respectively for the Protea Village land claim project.

Marielle also managed financial and timeline aspects of the project.

General Authorisation for various work packages (i.e. sections along Govan Mbeki Road) as part of the IRT Phase 2A trunk route infrastructure planning approvals.

Marielle also managed financial and timeline aspects of the project.

Amended Water Use License Application for the Proposed Biogas Plant at Cape Dairy farm, Malmesbury

Amendment of the application forms and submission to the authorities, liaison with the authorities and specialists, client and budget management. Marielle also managed financial and timeline aspects of the project.

Tokai Estate

Compilation of water use license application for the development of Tokai Estate, liaison with authorities and client. Marielle also managed financial and timeline aspects of the project.

Kylemore

Compilation of water use license application for the development of the housing development in Kylemore, liaison with authorities and client. Marielle also managed financial and timeline aspects of the project.

ENVIRONMENTAL MANAGEMENT SYSTEMS:

Environmental Management System for the Cape Town Film Studios

Assistance in the compilation of an Environmental Management System.

Maintenance Management Plan for the Emergency Flood Rehabilitation Works, Robertson

Compilation of a Maintenance Management Plan (MMP) for emergency flood repair at 12 various culverts from Robertson to Ashton. Tasks included drafting of the MMP, managing a Focus Group Meeting, and liaison with various key State Departments, as well as the management of a Freshwater specialist.

Maintenance Management Plan for the Wellington Industrial Park

This plan was drafted as part of the Environmental Management Programme for the Basic Assessment process. It addressed the management of the open green areas, potential reshaping of some wetlands, as well as stormwater infrastructure along the Berg River.

ENVIRONMENTAL MANAGEMENT PROGRAMMES:

Environmental Management Programme (EMPr) for the Emergency Flood Rehabilitation Works, Robertson

Undertaking the compilation of an Environmental Management Programme for the construction phase of the rehabilitation works on 12 culverts in from Robertson to Ashton.

Environmental Management Programme (EMPr) for the Evergreen Retirement Village, Bergvliet

Undertaking the compilation of an Operational Environmental Management Plan for the retirement village in accordance with the City of Cape Town requirements. Marielle also managed financial and timeline aspects of the project.

Environmental Management Programme (EMPr) for a Bird Sanctuary, Tableview

Undertaking the compilation of an Environmental Management Plan for construction and operational phase of upgrades to the SANCCOB bird sanctuary in accordance with the City of Cape Town requirements.

Environmental Management Programme (EMPr) for Disa Primary School, Hout Bay

Undertaking the compilation of an Environmental Management Plan for construction phase of the extension, refurbishment and upgrade of Disa Primary School in accordance with the City of Cape Town requirements. Tasks included the management of a botanical specialist for a tree survey.

Environmental Management Programme (EMPr) for a Housing Development, Bellville

Undertaking the compilation of an Environmental Management Plan for construction phase of a housing development in Bellville in accordance with the City of Cape Town requirements.

Environmental Management Programme (EMPr) for a Housing Development, Somerset West

Undertaking the compilation of an Environmental Management Plan for construction phase of the Pine Mews housing development in Somerset West (Erf 16644) in accordance with the City of Cape Town requirements.

Construction Environmental Management Programme (EMPr) for the of a Poco Showroom and Warehouse on Erf 5874, Parklands

Writing a Construction-phase Environmental Management Plan for the development in accordance with the City of Cape Town and other legislative requirements. The report included focus on the protection of an adjacent watercourse. Marielle also managed financial and timeline aspects of the project.

Demolition and Construction Environmental Management Programme (EMPr) for the demolition of an existing house and construction of a five-storey apartment block on Erf 122, Camps Bay

Writing a Construction-phase Environmental Management Plan for the development in accordance with the City of Cape Town and other legislative requirements. The report included focus on demolition management. Marielle also managed financial and timeline aspects of the project.

EIA Checklist for Erf 429, Clifton

Compilation of an EIA Checklist for the demolition and redevelopment of a residential dwelling on Erf 429, Clifton.

EIA Checklist for Erf 75, Bantry Bay

Assistance with compilation of an EIA Checklist for the expansion of the footprint for a property in Bantry Bay.

EIA Checklist for Wine Cellar Expansion, Spier

Compilation of an EIA Checklist for the expansion of the footprint and capacity of a wine cellar at Spier Estate.

EIA Checklist for Composting Facility, Spier

Compilation of an EIA Checklist for the establishment of a composting facility at Spier Estate.

EIA Checklist for Erf 281, Clifton

Assistance with compilation of an EIA Checklist for the expansion of the footprint for a property in Clifton.

EIA Checklist for Erf 5, Clifton

Assistance with compilation of an EIA Checklist for the expansion of the footprint for a property in Clifton.

EIA Checklist for Cape Sawmill, Stellenbosch

Assistance with compilation of an EIA Checklist for the expansion of the footprint and redevelopment of the Cape Sawmill site in Stellenbosch.

Opportunities and Constraints Analysis for the Proposed IRT Phase 2A Proposed Wynberg Bus Depot on Erf 91191 & Erf 90745-RE, Wynberg

Compilation of an Opportunities and Constraints Analysis for the Proposed IRT Phase 2A Proposed Wynberg Bus Depot on Erf 91191 & Erf 90745-RE, Wynberg.

EIA Checklist for development of a special needs school in Retreat (same project in screening, progressed to a checklist)

Incorporation of inputs from a heritage practitioner, freshwater ecologist, and botanist as well as consideration of the project scope against the requirements of the EIA Regulations, 2014 as amended and compilation of EIA Applicability Checklist. Marielle also manage financial and timeline aspects of the project. *Currently underway.*

EIA Checklist for the development of a blueberry farm in Western Cape.

Responsibilities included compilation of an EIA Checklist for the proposed development and the submission thereof to the authorities. Also liaised with client, project team (i.e. architects and town planners) and authorities. Marielle also managed financial and timeline aspects of the project.

EIA Checklist for redevelopment of a house into an apartment block on Erf 29&30, Clifton

Compilation of an EIA Checklist for the proposed development and the submission thereof to the authorities. Also liaised with client, project team (i.e. architects and town planners) and authorities. Marielle also managed financial and timeline aspects of the project.

EIA Checklist for redevelopment of a house into an apartment block on Erf 124, Camps Bay

Compilation of an EIA Checklist for the proposed development and the submission thereof to the authorities. Also liaised with client, project team (i.e. architects and town planners) and authorities. Marielle also managed financial and timeline aspects of the project.

EIA Checklist for a Service Station in Kensington

Compilation of an EIA Checklist for the development of a service station and the submission thereof to the authorities. Marielle also managed financial and timeline aspects of the project.

EIA Checklist for the Rezoning and Subdivision of Farm 183/57, Stellenbosch for a Mixed-Use Development Comprising of Retail, Offices, Industrial and Residential Land Uses

Marielle also managed financial and timeline aspects of the project.

EIA Checklist for several erven in Milnerton Foreshore to be redeveloped to mixed use

Compilation of an EIA Checklist for the proposed development. Marielle also managed financial and timeline aspects of the project.

EIA Checklist for the Proposed School Extension, Refurbishment and Upgrade of Disa Primary School, Erf 9858 and Portions of Erf 7309, Hout Bay

Compilation of an EIA Checklist for the refurbishment and expansion of Disa Primary School and submission thereof to the authorities. Marielle also managed financial and timeline aspects of the project.

EIA Checklist for a mixed-use development at the Cape Pine sawmill

Management of the project and completion and submission of the checklist. This was reviewed by a senior colleague. Marielle also managed financial and timeline aspects of the project.

SECTION 24G APPLICATIONS:

Seasons Find Chicken Farm Section 24G Application

Management of the post-commencement authorisation process, compilation of the Final Environmental Impact Report, liaison with the project team and authorities, and management of the public participation process.

Boschendal Weir Section 24G Application

Taking over the last stages of the application from a previous EAP. Tasks include writing an updated Impact Assessment Report, completing and updated Application Form, managing two specialist reviews of previous work, engagement with authorities and I&APs, as well as resubmitting the Water Use License Application. *Currently underway*

Delft Temporary Relocation Area (TRA) Section 24G Application

Contactable reference: Andre September

Housing Development Agency

Management of the post-commencement authorisation process, compilation of the Draft and Final Environmental Impact Report, planning and management of a noise questionnaire to the TRA residents, liaison with the project team and authorities, and management of the public participation process.

Cape Precious Metals Section 24G and Atmospheric Emissions License Application, unlawful commencement of precious metal recovery activities

Management of the post-commencement authorisation process, compilation of the Application form and Draft and Final Environmental Impact Reports, liaison with specialists, the project team and authorities, and management of the public participation process.

Finegold Laboratories Section 24G and Atmospheric Emissions License Application, unlawful commencement of precious metal recovery activities

Management of the post-commencement authorisation process, compilation of Draft and Final Environmental Impact Reports, liaison with specialists, the project team and authorities, and management of the public participation process.

Spier Composting Facility Section 24G and Waste Management License Application, unlawful commencement of a large composting facility

Management of the post-commencement authorisation process, compilation of the Application form and Draft and Final Environmental Impact Reports, liaison with specialists, the project team and authorities, and management of the public participation process.

12 Apostles Hotel and Spa Section 24G Application, unlawful expansion of footprint

Management of the post-commencement authorisation process, compilation of the Final Environmental Impact Report, liaison with the project team, one specialist and authorities, and management of the public participation process.

Elandskloof Section 24G Application, unlawful expansion of footprint and conversion of cottages to tourism accommodation

Management of the post-commencement authorisation process, compilation of the Final Environmental Impact Report, liaison with the project team, one specialist and authorities, and management of the public participation process.

WASTE MANAGEMENT PLANS:

Integrated Waste Management Plan, Cape Agulhas Municipality

Drafting of the 3rd Generation Integrated Waste Management Plan for the Municipality which included research and updating of the 2nd generation plan.

Integrated Waste Management Plan, Martin & East

Drafting of an Integrated Waste Management Plan for crushing facilities at various waste disposal facilities in support of Martin and East's registration as a waste service provider for the City of Cape Town.

Waste Management Plan, Spier, Stellenbosch

Drafting of a Waste Management Plan for a proposed new biodynamic micro-winery.

General Authorisation Application, Tokai Estate

Compilation and submission of a General Authorisation Application to the Department of Water and Sanitation for works along and on the Keyzers River.

Waste Management Plan (WMP) for the proposed Biodynamic micro-winery at Spier

Client liaison and compilation of the WMP. Marielle also managed financial and timeline aspects of the project.

SETBACK LINE APPLICATIONS:

Setback line Application, Glencairn Quarry

Management of the setback line application process, heritage specialist and supporting public participation as well as completion of application form.

Setback Line Application, Erf 281, Clifton

Management of the setback line application process, supporting public participation as well as completion of application form.

Setback Line application for redevelopment of a house into an apartment block on Erf 29&30, Clifton (emerged from the EIA Applicability Checklist)

Compilation of the application form for the proposed development and the submission thereof to the authorities, manage necessary public participation process, liaison with client, project team (i.e. architects and town planners) and authorities. Marielle also manage financial and timeline aspects of the project. *Currently underway.*

Setback Line application for redevelopment of a house into an apartment block on Erf 124, Camps Bay (emerged from the EIA Applicability Checklist)

Compilation of the application form for the proposed development and the submission thereof to the authorities, manage necessary public participation process, liaison with client, project team (i.e. architects and town planners) and authorities. Marielle also manage financial and timeline aspects of the project. *Currently underway.*

Erf 395 Setback Line Application for the demolition and reconstruction of a bungalow in Clifton

Management of the setback line application process and supporting public participation as well as completion of application form. Marielle also managed financial and timeline aspects of the project.

Setback Line Application for the development of a Spa at Spier Wine Estate

Management of the setback line application process and supporting public participation as well as completion of application form. Marielle also managed financial and timeline aspects of the project.

Erf 111 Setback Line Application for the demolition and redevelopment of a five-storey apartment block-

Management of the setback line application process and supporting public participation as well as completion of application form. Marielle also managed financial and timeline aspects of the project.

6 Victoria Road Setback Line Application for the redevelopment of an apartment block

Management of the setback line application process and supporting public participation as well as completion of application form. Marielle also managed financial and timeline aspects of the project.

AMENDMENT APPLICATIONS:

Amendment Application Erf 848, Struisbaai

Undertaking an amendment application for change in holder and extended validity period of appealed Environmental Authorisation for the Proposed Langezandt Quays Development.

Amendment Application for the Proposed Establishment of the King David Warehousing, Industrial and Business Development on Erf 112674, Cape Town and the Remainder of Erf 1181, Matroosfontein

Management of the amendment application process and the completion of the application form. The process also required stakeholder engagement with key parties on certain specific conditions of authorisation.

Amendment Application for Revisions to the Development Framework, Faure

Undertaking an amendment application and combination of the various Records of Decision obtained by the Cape Town Film Studios for revisions to the Development Framework included compilation of the Notice of Intent, Amendment Application Form, liaison with authorities, liaison with specialists (traffic, freshwater, botanical) and project team.

Amendments to the Development Framework for Cape Town Film Studios through one Part 2 Amendment Application

Marielle also managed financial and timeline aspects of the project.

Amendment to the Environmental Authorisation and EMPr resulting from the association Section 24G process for Cape Precious Metals to reduce audit frequency

Compilation of application, liaison with client and authorities as notification of I&APs. Marielle also managed financial and timeline aspects of the project.

Amendment to the appeal record of decision for a mariculture facility and restaurant on Erf 248, New harbour, Hermanus through a Part 1 Amendment Application process

Liaison with client and authorities, manage the process, complete the application forms and management of project budget and programme. Marielle also managed financial and timeline aspects of the project.

Amendment Application for a residential development in Tokai.

Management of the process, client and authority liaison and completion of the application documentation. Marielle also managed financial and timeline aspects of the project.

ENVIRONMENTAL MONITORING AND AUDITING:

Environmental Officer (EO), Biogas Plant, Bronkhorstspuit

EO for the monitoring, auditing and reporting of operational activities against an Environmental Management Programme for a biogas facility in Gauteng. Marielle conducted five of the six audits. Marielle also managed financial and timeline aspects of the project.

Environmental Control Officer (ECO), Sir Lowry's Pass Sewer Outfall

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Programme for the construction of the sewer outfall network in Sir Lowry's Pass, Somerset West. Review reports of Junior Environmental Consultant. Marielle also managed financial and timeline aspects of the project and oversaw a junior consultant, reviewing their reports and sometimes going to site.

Cape Precious Metals Registration on SAAILEP and NAEIS Emission Reporting for three years running.

Completion of the online registration and annual emission reporting forms based on the findings of a specialist study.

Cape Precious Metals Environmental Audit

An audit was conducted in terms of the requirements of the Environmental Authorisation, compliance was established, and recommendations were made to ensure complete compliance. Marielle also manage financial and timeline aspects of the project.

Cape Precious Metals Annual Emissions Audit Report

An audit was conducted in terms of the requirements of the Provision Atmospheric Emission License, compliance was established and recommendations were made to ensure complete compliance. Marielle also manage financial and timeline aspects of the project.

Update Environmental Legislation Document, South African Bitumen Association (SABITA)

Review of legislation applicable to the business activities of SABITA and updating their Environmental Legislation Guideline document accordingly.

Environmental Screener for the Proposed Widening of the M3

The designs provided by the engineers were reviewed and the entire route was analysed, in conjunction with the proposal, to highlight potential environmental sensitivities and associated triggers. The findings were detailed in a report.

Environmental Screener for Erf 668-0 for Proposed Warehousing and Filming Activities

The scope provided by the client was reviewed and the entire site was analysed, in conjunction with the proposal, to highlight potential environmental sensitivities and associated triggers. The findings were detailed in a report.

Feasibility Assessment, Integrated Rapid Transport (IRT) Depots

Conducting a feasibility assessment for a number of sites selected by the City of Cape Town for the establishment of IRT Depots. Assessment included liaison with authorities, desktop research, legislative review and a site visit.

Feasibility Assessment, Integrated Rapid Transport (IRT) Feeder Routes (Phase 2A)

Conducting a feasibility assessment for the establishment of an IRT Feeder network. Assessment included liaison with authorities, desktop research, legislative review, site visit, and specialist management.

NEMA Appeal Process Support- Environmental Impact Assessment for an LPG Handling Facility in Saldanha

Provision of guidance and advice to the client during the appeals phase.

Impact Assessment and Rehabilitation Report for Illegal Infilling on Erf 82057

Conducting a site visit, managing a freshwater specialist, and writing and submitting an Impact Assessment Report and Rehabilitation Plan to the authorities in response to a pre-compliance notice.

Impact Assessment and Rehabilitation Report for Placement of Excavated Material on Erf 2252, Camps Bay

Conducting a site visit, managing a botanical specialist, and writing and submitting an Impact Assessment Report and Rehabilitation Plan to the authorities in response to a pre-compliance notice. Marielle also managed financial and timeline aspects of the project.

Proposed Developments and Overall Conceptual Framework at Boschendal, Franschhoek

Undertaking environmental investigations in terms of applicable environmental legislation and appropriate environmental processes for the Proposed Developments and Overall Conceptual Framework at Boschendal, Franschhoek.

Retrospective audit for the first phase of construction for the Wildersview Housing Development in Bellville

Site visit, review of evidence/documentation provided and compilation of audit report. An addendum was also compiled following the completion of recommendations from the initial audit report by the client in order to close out the audit. Marielle also managed financial and timeline aspects of the project.

Environmental Control Officer (ECO), Emergency Flood Damage Repair to Culverts in Robertson

ECO for the monitoring, auditing and reporting of construction activities in accordance with the Environmental Management Programme for the repair of structures. Review reports of Junior Environmental Consultant. Marielle also managed financial and timeline aspects of the project and oversaw a junior consultant, reviewing their reports and sometimes going to site.

Environmental Screening exercise to compare the viability and potential opportunities and constraints associated with three sites for the development of a blueberry farm in Western Cape.

Responsibilities included site visits, drafting of the screening report and associated recommendations and considerations against the requirements of the EIA Regulations, 2014, as amended, as well as liaison with the project team. I also managed financial and timeline aspects of the project.

Environmental Opportunities and Constraints Analysis for the development of a Nelson Mandela Memorial at UCT

Required management of freshwater ecologist and botanist and incorporation of their studies (as well as input from engineers and town planners) into the Opportunities and Constraints Report, drafting of the Opportunities and Constraints Report as well as liaison with the project team. I also managed financial and timeline aspects of the project.

Environmental Opportunities and Constraints Analysis to inform the design of a Conceptual Framework for the Boschendal Farm

Required management of freshwater ecologist, faunal specialist and botanist and incorporation of their studies (as well as input from engineers and town planners) into the Opportunities and Constraints Report, drafting of the Opportunities and Constraints Report as well as liaison with the project team and the authorities (i.e. Stellenbosch Municipality and DEA&DP). I also managed financial and timeline aspects of the project.

Environmental screening of a site in Retreat for a special needs school

Included management of a heritage practitioner, freshwater ecologist, and botanist and incorporation of their findings as well as consideration of the project scope against the requirements of the EIA Regulations, 2014 as amended and compilation of recommendation for the way forward and potential listed activities triggered. I also managed financial and timeline aspects of the project.

High-level Environmental Screening for 134 NMT links in the Overstrand Municipality

Desktop review of spatial data on environmental sensitivities considered with the project scope against the requirements of the EIA Regulations, as amended as well as the requirements of the National Water Act and National Heritage Resources Act. I also managed financial and timeline aspects of the project.

Preliminary investigation and legislative review for the proposed IRT Feeder Routes

Provision of opinion on required processes, liaison with the authorities, client and management of project and budget. I also managed financial and timeline aspects of the project.

Feasibility Assessment, Student Accommodation on Erf 24020-RE, Belhar

Assessment included liaison with the authorities, review of legal requirements, desktop research to establish environmental sensitivities on site as well as a site visit. I also managed financial and timeline aspects of the project.

Feasibility Assessment, Student Accommodation at King Hintsha Campus, East London

Assessment included liaison with the authorities, review of legal requirements, desktop research to establish environmental sensitivities on site as well as a site visit. I also managed financial and timeline aspects of the project.

Ad Hoc provision of Opinion to the South African Property Owners' Association

Provision of opinion with regard to the relevance of environmental legislation and activities on proposed development. Opinion has also been provided in terms of the implication of amendments to legislation.

APPEALS

Provision of guidance and advice to the client during the appeals phase as well as circulation of additional information for public comment and compilation of the comments and response report. I also managed financial and timeline aspects of the project.

Appeals on King Air Amendment Application

Provision of guidance and advice to the client during the appeals phase as well as providing responses to appeal comments regarding the EIA process. I also managed financial and timeline aspects of the project.

Appeals on LPG Handling Facility EIA, Saldanha

Provision of guidance and advice to the client during the appeals phase as well as providing responses to appeal comments regarding the EIA process. I also managed financial and timeline aspects of the project.

Appeals on ad hoc development setback line for 6 Victoria Road, Clifton

Provision of guidance and advice to the client during the appeals phase as well as providing responses to appeal comments regarding the EIA process. I also managed financial and timeline aspects of the project.

WATER SAFETY PLANS:

Writing of Water Safety Plans (which includes a review and necessary understanding of geohydrological reports, SANS241-1 standards, technical design reports, water services intermediary requirements of the City of Cape Town, and water treatment plants and related operations) under a contract with Western Cape Government for a number of health facilities in the Western Cape. I wrote the Water Safety Plans for the following facilities:

- o Eerste River Hospital;
- o Grassy Park Community Day Clinic;
- o Michael Mapongwana Community Health Centre;
- o Vredelus House Child and Youth Care Centre;
- o Khayelitsha Hospital; and
- o Gugulethu Community Health Centre.

WASTE MANAGEMENT LICENSES:

Waste Management License Variation Application for the Biogas Plant on Farm Boschkop, Bronkhorstspuit

Completion of the application form and associated motivation, liaison with client and authorities. Marielle also managed financial and timeline aspects of the project.

Waste Management License CSIR Biogas Plant

Completion of application form and associated assessments as part of the CSIR Biogas EIA listed above. Marielle also managed financial and timeline aspects of the project. This project was eventually put on hold and the process did not run to conclusion.

PEER REVIEW:

Peer Review in terms of the requirements of Regulation 34 and Appendix 7 of GN No. 326 of 2017 of the audit report compiled by GIBB for the triangle light industrial development and amendments to the Kuils River

Review of the audit report compiled by GIBB while considering its alignment with the regulations and compiling a peer review report. I also managed financial and timeline aspects of the project.

DEMOLITION PERMIT APPLICATIONS:

Application for Demolition of King David Golf Course Clubhouse and associated buildings

Completion of application form, reviewed by heritage practitioner, and submission to/liaison with HWC. I also managed financial and timeline aspects of the project.

Application for Demolition of the Clovelly Station Platform

Completion of application form, reviewed by heritage practitioner, and submission to HWC. I also managed financial and timeline aspects of the project.

REHABILITATION PLANS:

Impact Assessment and Rehabilitation Report for Illegal Infilling on Erf 82057

Conducting a site visit, managing a freshwater specialist, and writing and submitting an Impact Assessment Report and Rehabilitation Plan to the authorities in response to a pre-compliance notice. Marielle also managed financial and timeline aspects of the project.

Impact Assessment and Rehabilitation Report for Placement of Excavated Material on Erf 2252, Camps Bay

Conducting a site visit, managing a botanical specialist, and writing and submitting an Impact Assessment Report and Rehabilitation Plan to the authorities in response to a pre-compliance notice. Marielle also managed financial and timeline aspects of the project.

MAINTENANCE MANAGEMENT PLANS:

Maintenance Management Plan (MMP) for Emergency Flood Rehabilitation Works, Compilation of a Maintenance Management Plan (MMP) for emergency flood repair at 12 various culverts from Robertson to Ashton. Tasks included drafting of the MMP, managing a Focus Group Meeting, and liaison with various key State Departments, as well as the management of a Freshwater specialist. Marielle also managed financial and timeline aspects of the project.

Maintenance Management Plan for Wellington Industrial Precinct

Writing the EMP to include the necessary maintenance management aspects and the EA also approved the MMP. I also managed financial and timeline aspects of the project.

TENDERS:

Compilation and drafting of tender documents as well as the management of the process and administrative support.

GIBB (May 2012 – November 2013)

Environmental Impact Assessment (and EMP) for the proposed construction, operation and decommissioning of a conventional Nuclear Power Station and Associated Infrastructure (Nuclear-1) (SIP Project)

Provision of assistance with project management, acting project manager for 4 months during restructuring, coordination of 17 specialists, assistance with drafting of the EMP and public consultation, management of project budgets and invoicing, strict quality adherence to ISO19001 as well as NEC2, team liaison, and review of specialist reports.

Environmental Impact Assessment for the Expansion of the Iron Ore Corridor from Sishen Mine to the Port of Saldanha (SIP Project)

Marielle performed the task of Assistant Project Manager for the entire development and managed project finances, the project administrative team, programme management and general project reporting in line with ISO9001 systems and NEC3 requirements.

The project was divided into a number of authorisation processes, of which Marielle was technically involved in the following:

- **EIA for Expansion at the Port of Saldanha**- background research, drafting of the Scoping Report, assistance with drafting the specialist terms of reference, management of the Public Engagement
- **BA for Third Tippler** (not part of the expansion)- background research, public engagement, and authority liaison

Environmental Impact Assessment (and EMP) for the Wolseley Wind Farm

Assistance with report and EMP drafting, specialist report review, synthesis of specialist reports as well as specialist liaison and coordination.

Environmental Impact Assessment (and EMP) for the Caledon (Langhoogte) Wind Farm

Assistance with report and EMP drafting, specialist report review, synthesis of specialist reports as well as specialist liaison and coordination.

Environmental Impact Assessment for a Dedicated Isotope Production Reactor (DIPR) for the South African Nuclear Energy Corporation (NECSA)

The EIA was for a nuclear reactor with associated infrastructure at the NECSA Pelindaba site, North West Province. The nuclear reactor was to be solely utilized for the purpose of producing radio isotopes and not for energy production. Marielle assisted with drafting of the scoping report as well as general project team liaison and task management.

Basic Assessment for a Road Upgrade in Rawsonville

Writing of the draft Basic Assessment Report, review of specialist report, management and liaison with specialists, management of project budgets and invoicing, and programme management.

Environmental Impact Assessment (and EMP) for the Sowa Water Master Plan Update, Botswana

Project management, compilation of the scoping and environmental impact reports, compilation of the EMP, management and involvement in a thorough Public Consultation Process in Botswana, management of specialists, authority liaison and general team liaison.

Environmental Impact Assessment for the City of Cape Town Stormwater Upgrades

The EIA covered all management and maintenance interventions undertaken within City's numerous rivers, canals, vleis, wetlands, estuaries and constructed stormwater systems and includes public participation, aquatic and botanical specialist studies. Marielle performed the role of Public Participation Officer and managed ongoing communications with I&APs as well as the compilation of entire Comments and Response Reports.

Environmental Impact Assessment for the Groot Drakenstein Sewer Pipeline

Assistance with report writing and distribution.

Environmental Impact Assessment for the St. Helena Wind Farm

Assistance with site research and report compilation.

Integrated Rapid Transit Infrastructure for the City of Cape Town

Conducted Environmental site audits and reporting as well as facilitation of public engagement.

Skoongesig Transmission Line

Conducted ECO audits and reporting as well as environmental training for workers.

Millennium Challenge Corporation Mozambique Compact

Independent environmental services for projects part of the \$507 million Mozambique Compact, which is funded by the Millennium Challenge Corporation (United States of America). Marielle provided assistance with report editing and compilation for the environmental audits conducted in Mozambique by the ECO.

ACADEMIC RECORD

Degrees

MSc Environmental Management (UNISA) - ongoing part-time
BSc (Hons) Environmental Management (UNISA)
BSc Environmental Management majoring in Zoology and Geography (UNISA)

Certificates

ICDL
MS Project Level 1
MS Project Level 2

Professional Registration

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EAPASA - 2019/1988

Recreation

Open Water Diver
Advanced Open Water Diver
Enriched Air Diver

PRESENTATION AT CONFERENCES

LPG Africa Conference April 2016, Hilton Hotel, Sandton

Speaker at the conference "EIA Process and Challenges and Opportunities for LPG Facilities"

REFERENCES

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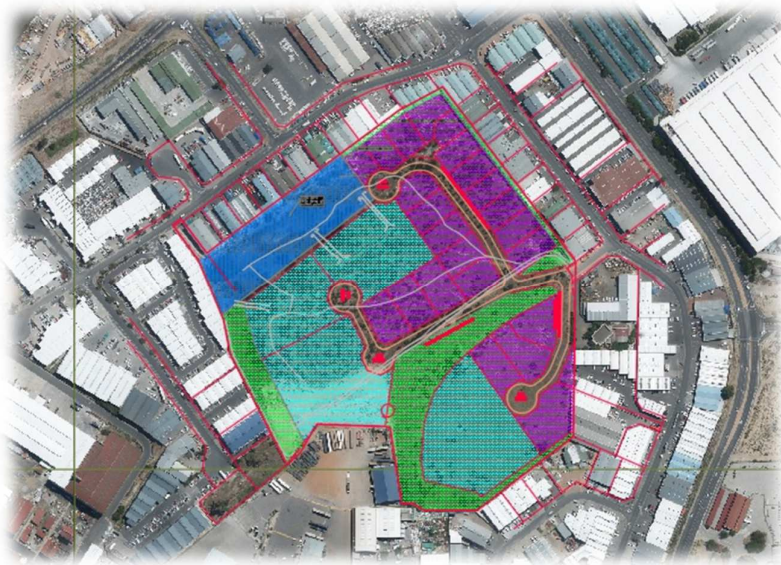
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APPENDIX 14

Capping strategy

EVERITE INDUSTRIAL DEVELOPMENT, ERF 18354, BRACKENFELL:

CIVIL SERVICES METHOD STATEMENT: REV 00



OUR REF NO. 200284

DECEMBER 2020

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DOCUMENT CONTROL SHEET

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**EVERITE INDUSTRIAL DEVELOPMENT, ERF 18354, BRACKENFELL:
CIVIL SERVICES METHOD STATEMENT: REV 00**

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1 EARTHWORKS

1.1 In-Situ Conditions

The in-situ terrain must be compacted before any fill and/or capping layers are placed. The terrain must be compacted to 95% MOD AASHTO.

1.2 Capping

The capping layerworks depend on the total fill required to achieve the final earthworks levels, as well as the location of the capping (i.e. roads, building platforms, etc.). The capping layers have been specified by *Jones and Wagener Engineering and Environmental Consultants*.

1.2.1 In Green areas

In the green areas surrounding the industrial development, the existing vegetation will be cleared and the capping layerworks will be constructed directly on to the compacted insitu material. The typical layerworks for these areas is shown in Figures 1.2.1a.

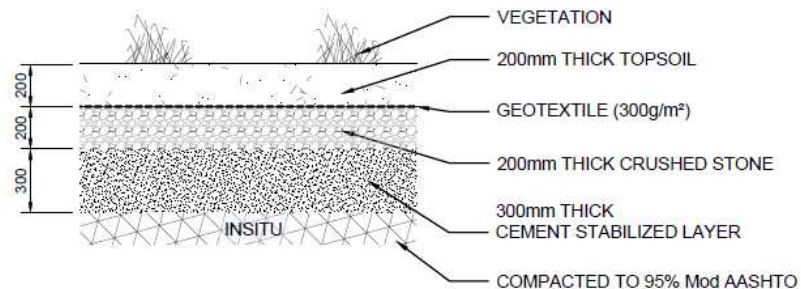


Figure 1.2.1a: Capping layerworks in green areas

Additionally, due to the mole activity that has been witnessed on site, a rodent barrier will be installed along the entire perimeter of the site. This will entail the excavation of one meter deep trench that will be lined with a HDPE geomembrane and backfilled with a cement stabilised material. The geomembrane will continue across the top of the trench and be place 100mm up against the property boundary. The typical cross section of the rodent barrier is shown in Figures 1.2.1b.

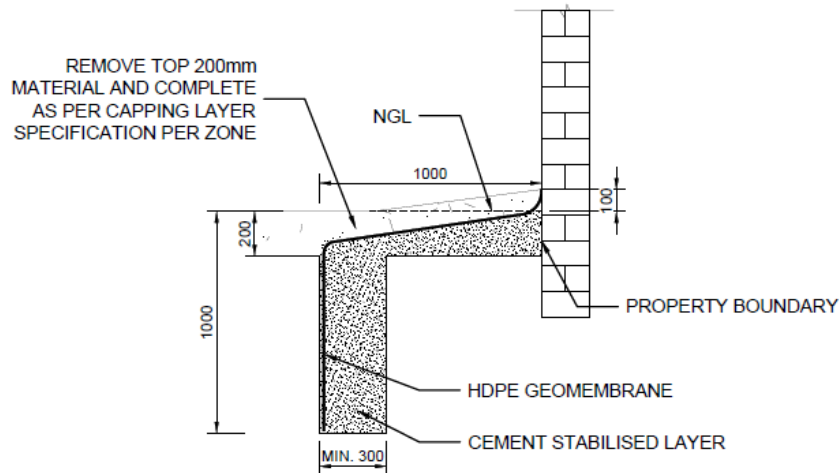


Figure 1.2.1b: Typical detail of perimeter rodent barrier

1.2.2 In Roads

The roads can be classified into two categories, based on the proposed layerworks, namely main access roads (asphalt finish) and internal parking areas (brick paved finish). Typical road sections are shown in Figures 1.2.1c and 1.2.1d.

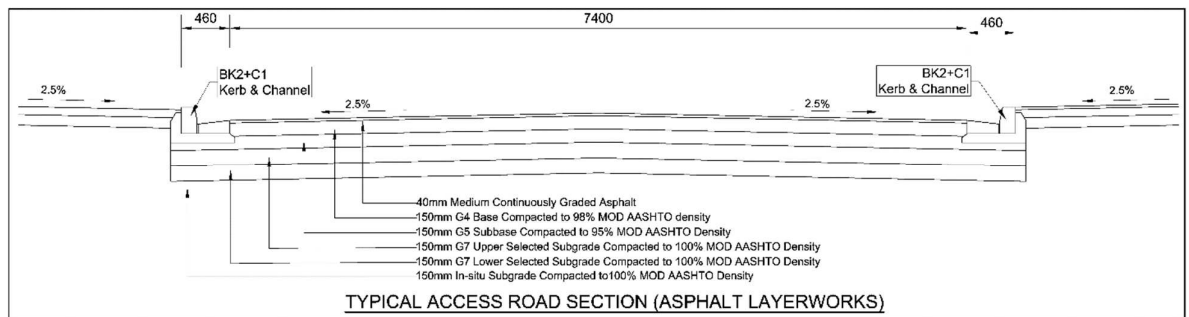


Figure 1.2.1c: Road Layerworks (Asphalt)

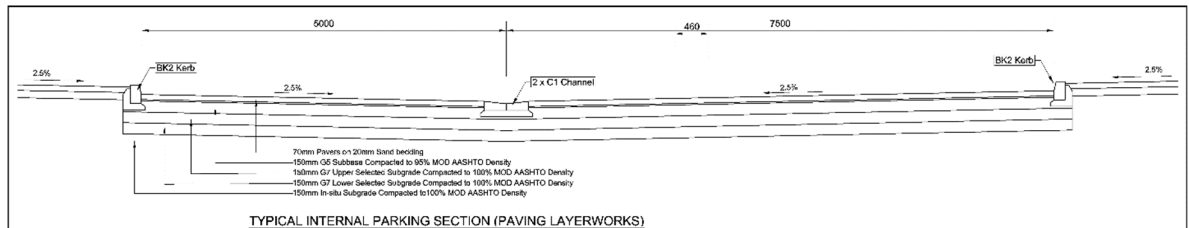


Figure 1.2.1d: Road Layerworks (Brick Paving)

The road layerworks are as follows:

- Asphalt Finish (640mm total thickness):
 - 40mm Premix
 - 150mm G4
 - 150mm G5
 - 150mm Upper Selected
 - 150mm Lower Selected
- Brick Paving (540mm total thickness):
 - 70mm Paver on 20mm Sand bedding
 - 150mm G5
 - 150mm Upper Selected
 - 150mm Lower Selected

Under the asphalt roads, the capping will be replaced by the road layerworks. Where the total fill required to achieve final level is less than the proposed road layerworks thickness, excavation will be required into the in-situ material. This is illustrated in Figure 1.2.1e (also refer to **Annexure A**), where the final level is approximately 70mm below the existing level. This scenario is limited to a 135m² area.

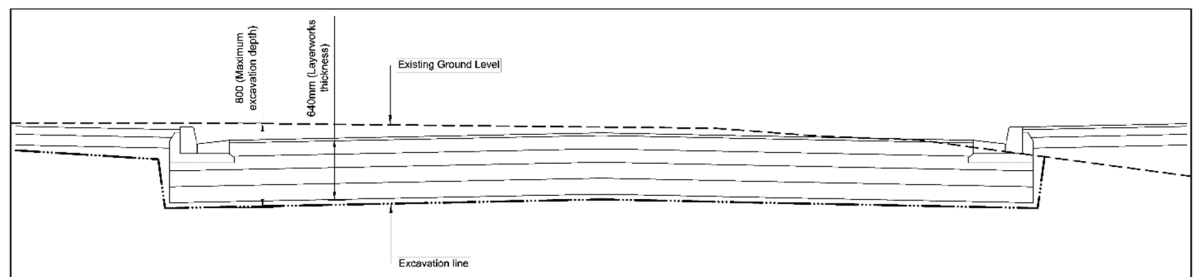


Figure 1.2.1e: Excavation for road layerworks at depth

Where the brick paving final earthworks levels are close to the existing ground and excavation is required, the 200mm thick crushed stone layer of the capping layerworks will be placed underneath the bricking paving layerworks are constructed.

1.2.3 On Building Platforms

The building platform areas can be categorized into three scenarios, namely:

- a) Final level at, or just below the existing level (maximum excavation).
- b) Final level between 0mm and 700mm above existing level (intermediate excavation).
- c) Final level more than 700mm above existing level (no excavation).

Each scenario will entail varying degrees of excavation into the existing ground, from 700mm excavation, to no excavation into the existing ground (refer to **Annexure B**). Excavation of 700mm into the existing ground will require capping with no additional fill (scenario a above) while the scenario with no excavation will not require capping layerworks and only bulk earthworks (scenario c above). These bulk earthworks will comprise of competent material constructed in 200mm thick layer and compacted to 95% MOD AASHTO. The area where maximum excavation is required for building platforms is limited to 25m². Hence, Figure 1.2.1f is applicable for scenarios a and b described above.

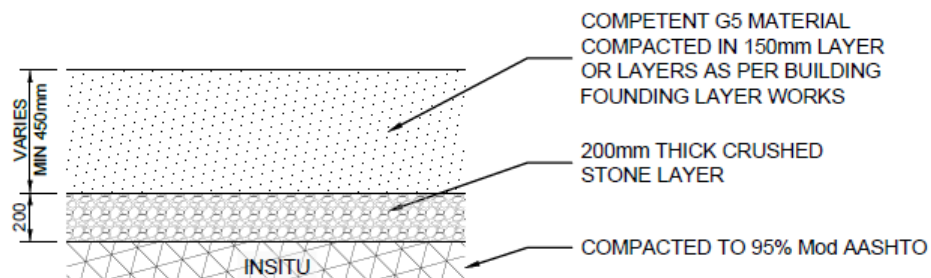


Figure 1.2.1f: Excavation for road layerworks at depth

2 UNDERGROUND SERVICES

Services have been designed to generally be at a maximum depth of 1m (refer to **Annexures C1** and **C2**, and therefore to be within the earthworks and/or capping layers. There are instances where this is not possible.

Services are located either in roads, parking areas or traverses across areas where no bulk earthworks occur. The areas where services cross outside of the roads or proposed bulk earthworks, the services will be deeper than the proposed capping layers and excavation into the existing ground will be required.

The three scenarios for services can be summarized as follows:

- a) Deeper than proposed capping layer, in areas of no bulk earthworks/roadworks.
- b) Within the existing ground under roads/parking.
- c) Within the bulk earthworks fill, under roads/parking.

The above scenarios are illustrated in **Annexure C3**.

3 POND

The existing pond needs to be extended in length and widened (refer to **Annexure C2**). The pond will include a drainage layer of 500mm thick, consisting of clean drainage sand. Armorflex grass blocks will line the bottom and side slopes of the pond.

The drainage layer will contain a series of 110mmØ subsoil drains. Refer to **Annexure D** and Figure 3 below.

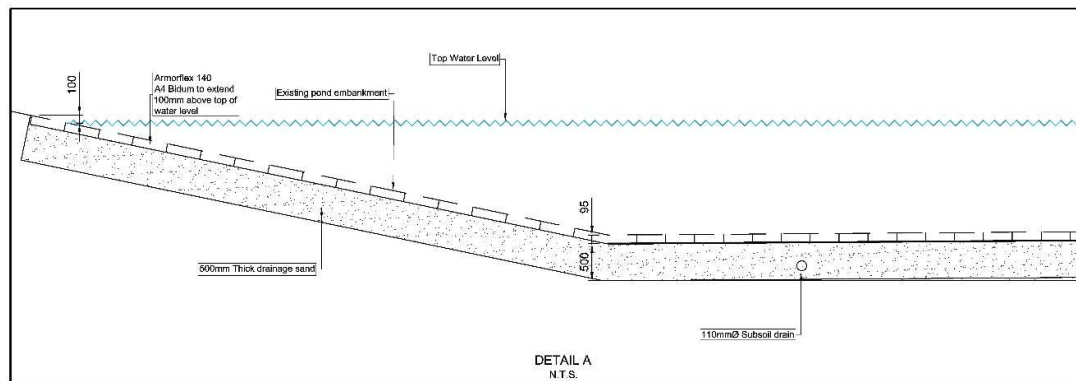
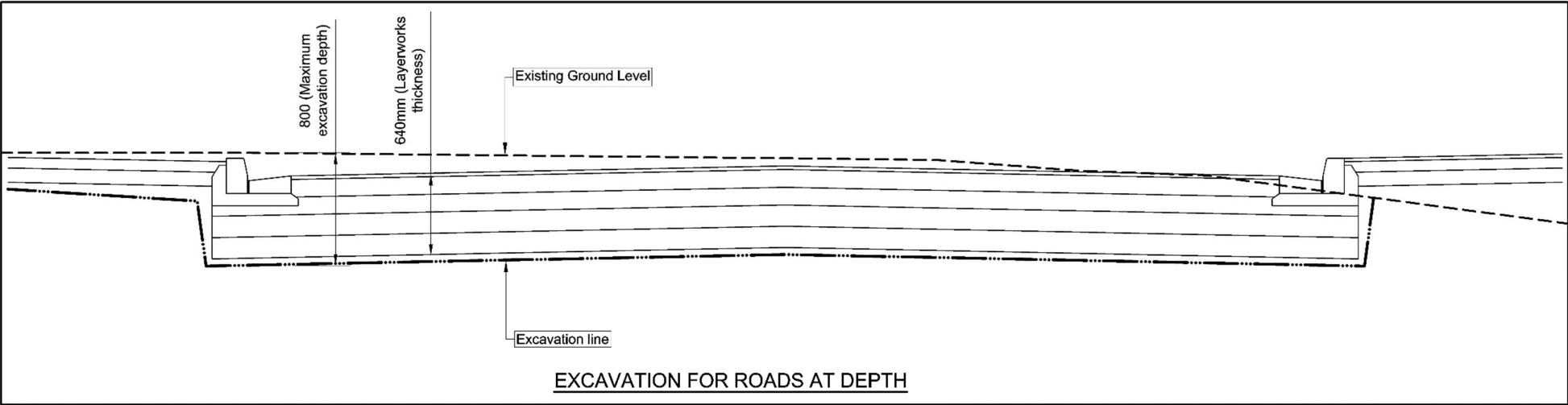
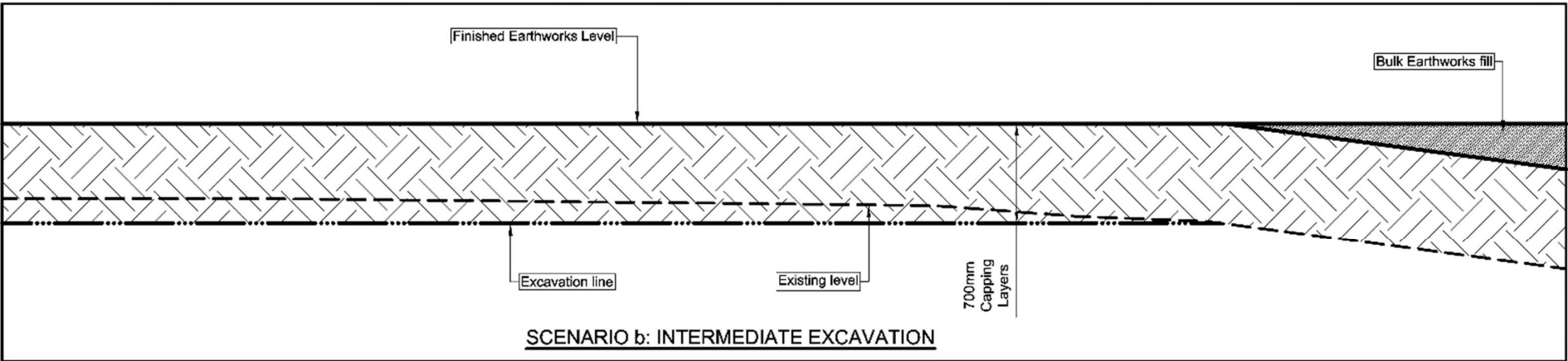
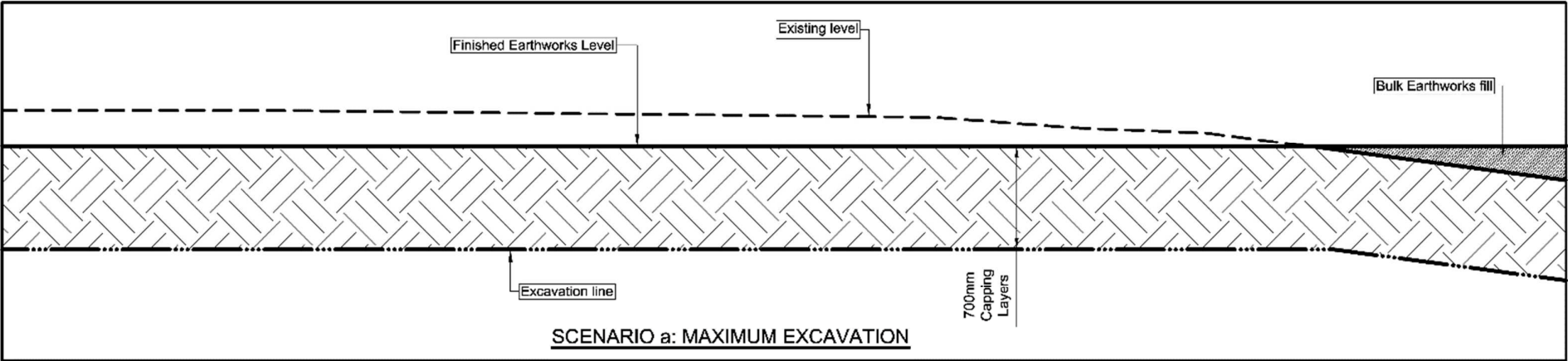


Figure 3: Pond details

ANNEXURE A: EXCAVATION FOR ROADS AT DEPTH

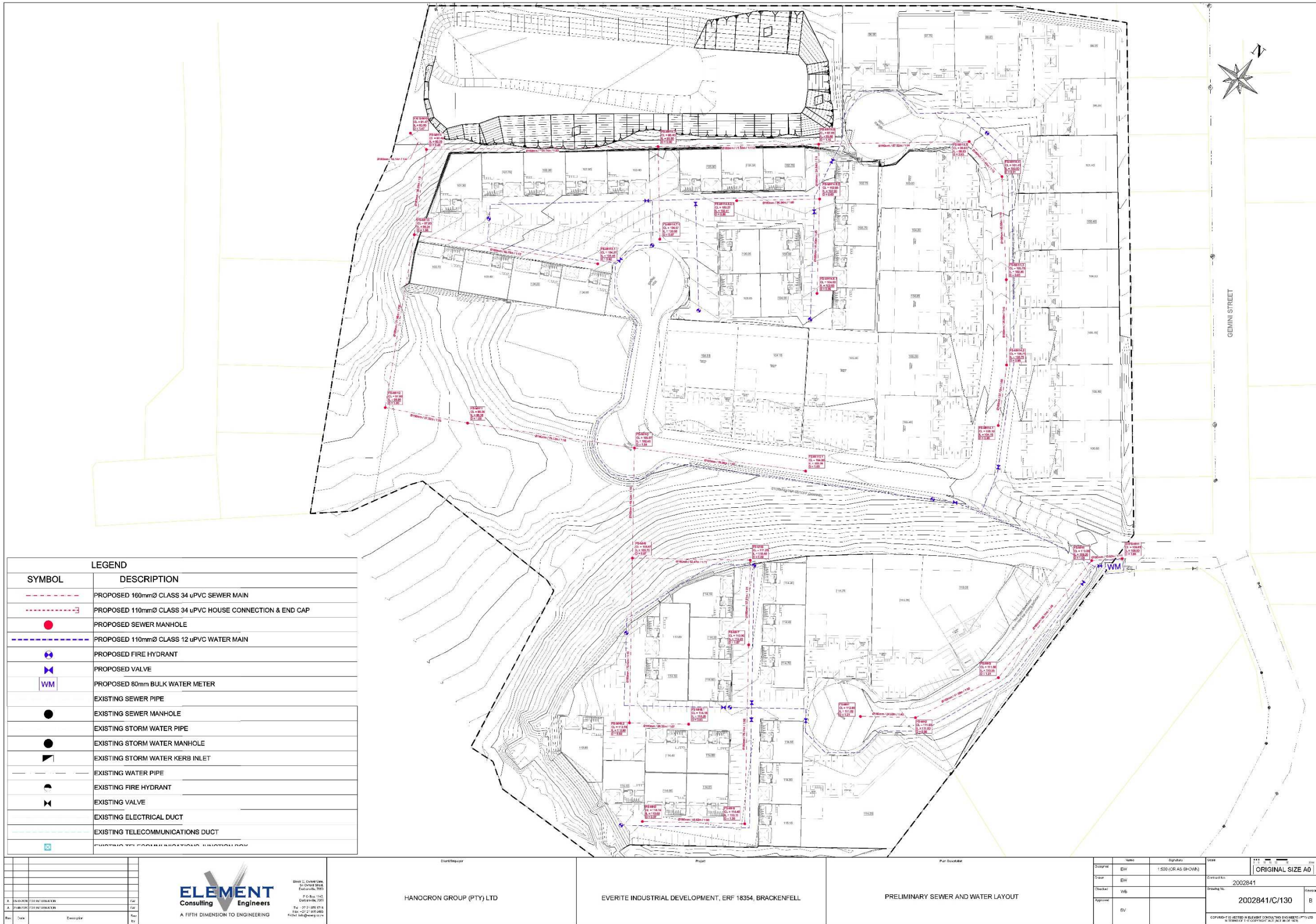


ANNEXURE B: BUILDING EARTHWORKS SCENARIOS



**ANNEXURE C: PRELIMINARY SEWER & WATER AND STORM WATER LAYOUT &
TRENCHING**

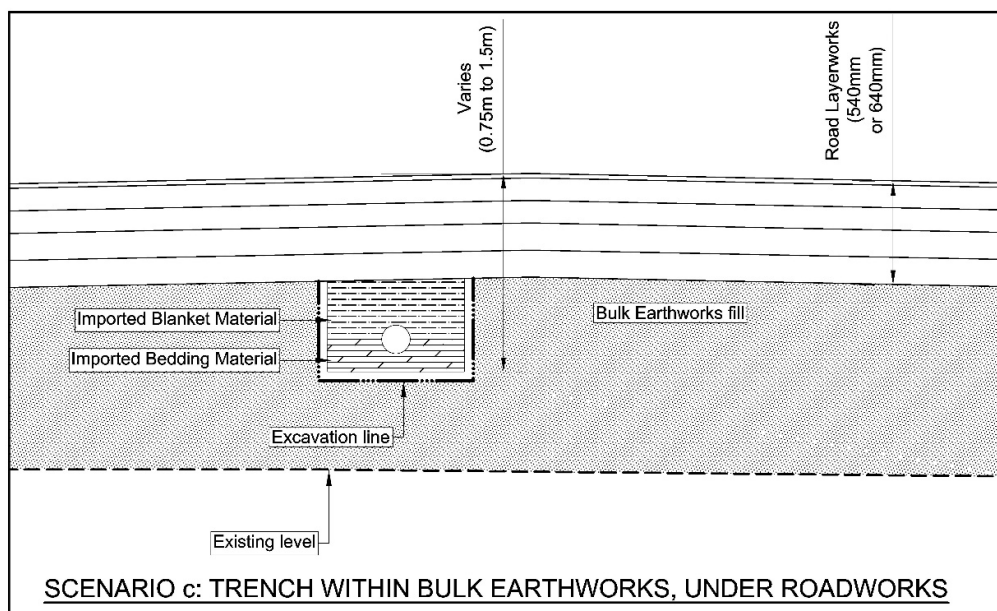
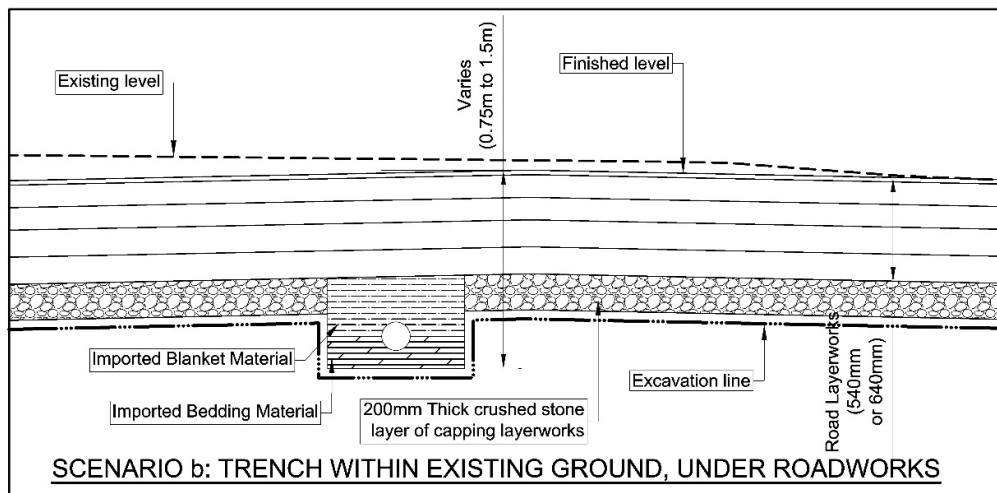
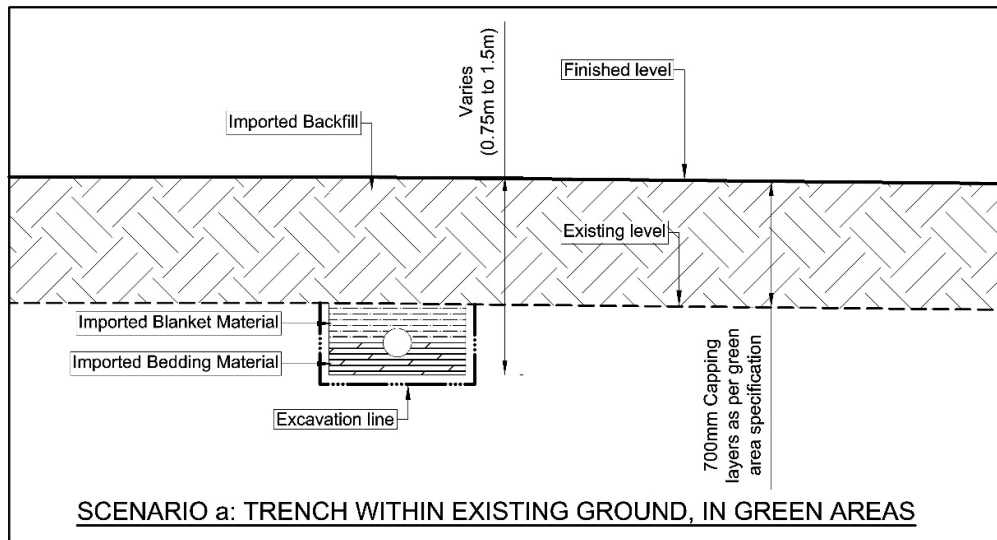
ANNEXURE C1: PRELIMINARY SEWER AND WATER LAYOUT (FULL SCALE ENCLOSED)



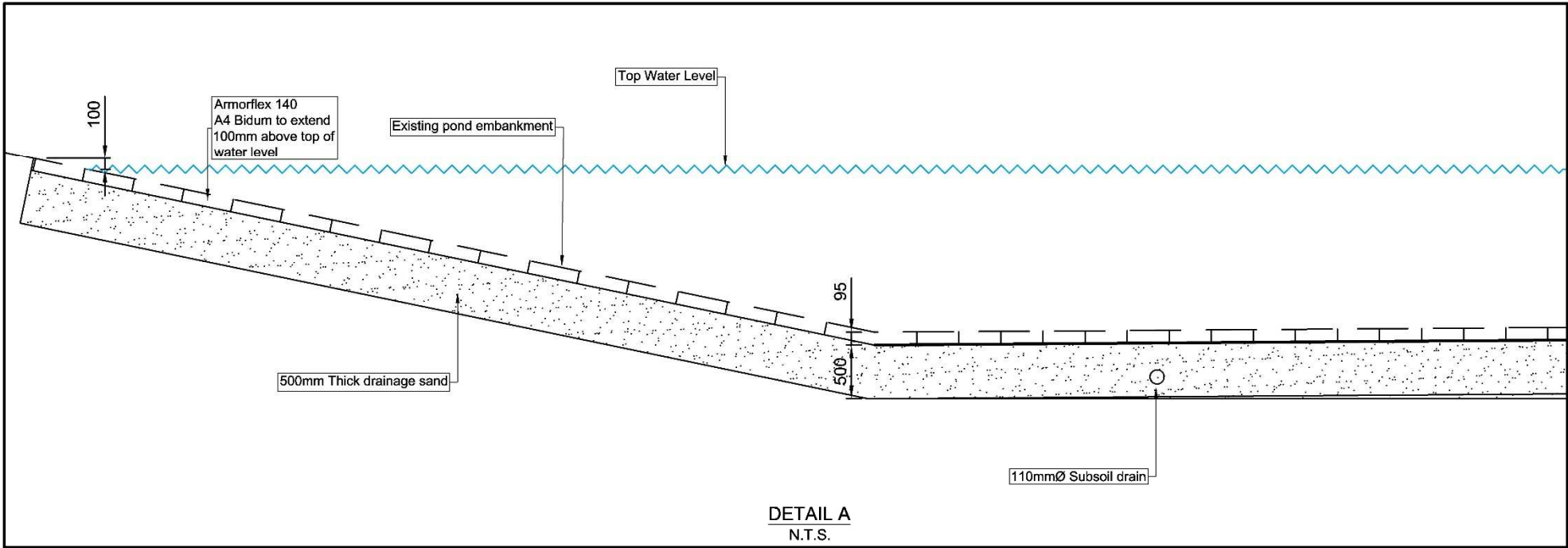
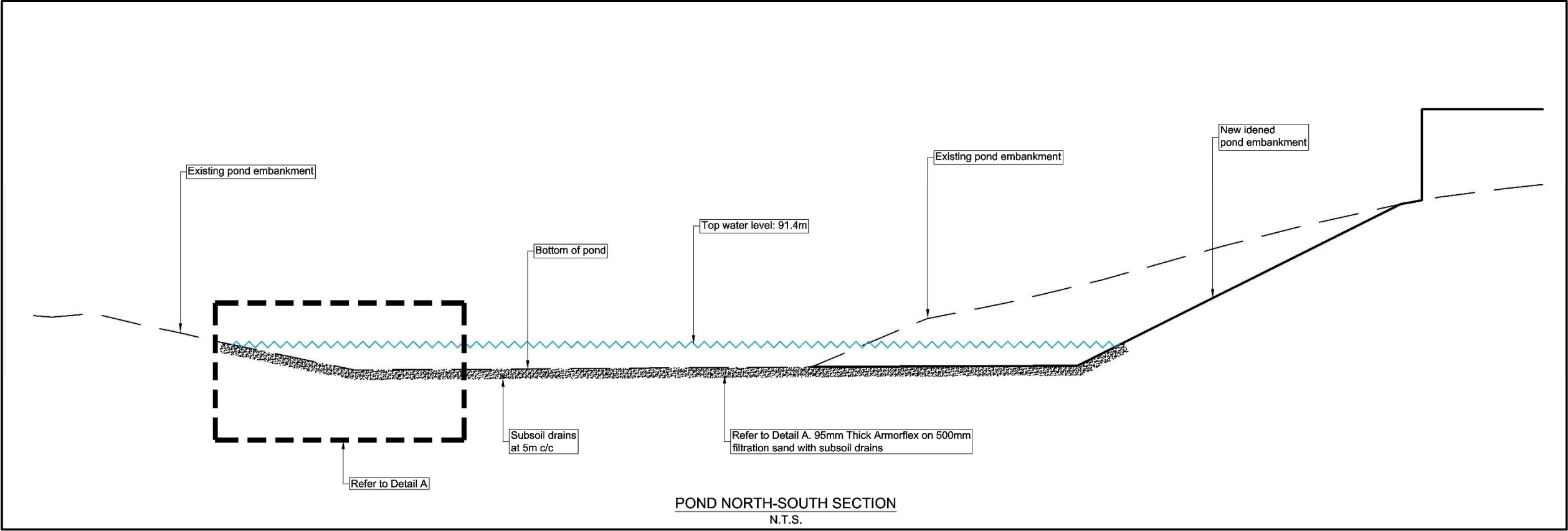
ANNEXURE C2: PRELIMINARY STORM WATER LAYOUT (FULL SCALE ENCLOSED)

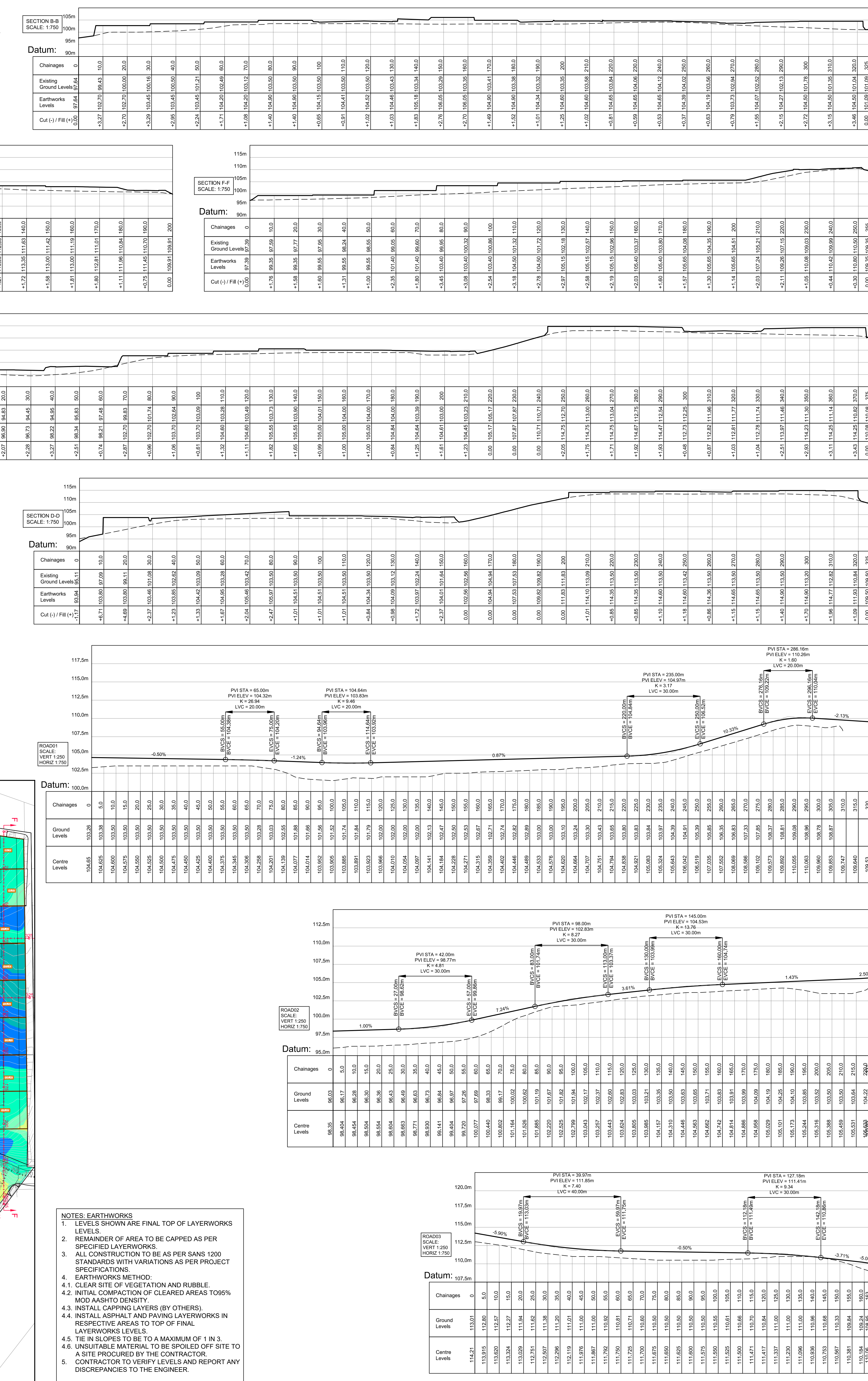


ANNEXURE C3: SERVICES TRENCHING SCENARIOS



ANNEXURE D: POND DETAILS





Client/Employer		Project		Plan Description				<table><tr><td>Name</td><td>Signature</td><td>Scale</td><td>*** ORIGINAL SIZE ***</td></tr><tr><td>Designed EW</td><td>1:750 (OR AS SHOWN)</td><td></td><td></td></tr><tr><td>Drawn EW</td><td></td><td>Contract No.</td><td>200284</td></tr><tr><td>Checked WB</td><td></td><td>Drawing No.</td><td>200284/C/001</td></tr><tr><td>Approved BV</td><td></td><td></td><td><small>COPYRIGHT IS VESTED IN ELEMENT CONSULTING ENGINEERS (PTY) LTD IN TERMS OF THE COPYRIGHT ACT NO. 94 OF 1994</small></td></tr></table>		Name	Signature	Scale	*** ORIGINAL SIZE ***	Designed EW	1:750 (OR AS SHOWN)			Drawn EW		Contract No.	200284	Checked WB		Drawing No.	200284/C/001	Approved BV			<small>COPYRIGHT IS VESTED IN ELEMENT CONSULTING ENGINEERS (PTY) LTD IN TERMS OF THE COPYRIGHT ACT NO. 94 OF 1994</small>
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APPENDIX 15

Site Development Plan



Drinking Water
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